
NORTH AND EAST PLANS PANEL

Meeting to be held in Civic Hall, Leeds on
Thursday, 16th November, 2023
at 1.30 pm

MEMBERSHIP

Councillors

J Akhtar (Chair)
B Anderson
J Heselwood
D Jenkins
R Jones
J McKenna
M Millar
N Sharpe
R. Stephenson

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Agenda compiled by:
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Civic Hall

Enquiries specific to planning applications on the agenda should be directed to Panel Team; Phone 0113 3786980 Email; planspanel@leeds.gov.uk

A G E N D A

Item No	Ward	Item Not Open		Page No
1			<p>SITE VISIT LETTER</p> <p>APPEALS AGAINST REFUSAL OF INSPECTION OF DOCUMENTS</p> <p>To consider any appeals in accordance with Procedure Rule 15.2 of the Access to Information Rules (in the event of an Appeal the press and public will be excluded)</p> <p>(*In accordance with Procedure Rule 15.2, written notice of an appeal must be received by the Head of Governance Services at least 24 hours before the meeting)</p>	
2			<p>EXEMPT INFORMATION - POSSIBLE EXCLUSION OF THE PRESS AND PUBLIC</p> <p>1 To highlight reports or appendices which officers have identified as containing exempt information, and where officers consider that the public interest in maintaining the exemption outweighs the public interest in disclosing the information, for the reasons outlined in the report.</p> <p>2 To consider whether or not to accept the officers recommendation in respect of the above information.</p> <p>3 If so, to formally pass the following resolution:-</p> <p>RESOLVED – That the press and public be excluded from the meeting during consideration of the following parts of the agenda designated as containing exempt information on the grounds that it is likely, in view of the nature of the business to be transacted or the nature of the proceedings, that if members of the press and public were present there would be disclosure to them of exempt information, as follows:-</p>	

Item No	Ward	Item Not Open		Page No
3			<p>LATE ITEMS</p> <p>To identify items which have been admitted to the agenda by the Chair for consideration</p> <p>(The special circumstances shall be specified in the minutes)</p>	
4			<p>DECLARATION OF INTERESTS</p> <p>To disclose or draw attention to any interests in accordance with Leeds City Council's 'Councillor Code of Conduct'.</p>	
5			<p>APOLOGIES FOR ABSENCE</p>	
6			<p>MINUTES - 19TH OCTOBER 2023</p> <p>To receive the minutes of the meeting held on 19th October 2023, for approval as a correct record.</p>	9 - 16
7	Cross Gates and Whinmoor; Harewood		<p>22/05970/RM - RESERVED MATTERS APPLICATION FOR RESIDENTIAL DEVELOPMENT OF 407 DWELLINGS WITHIN THE NORTHERN QUADRANT TO APPROVE DETAILS IN RELATION TO ACCESS (SAVE FOR THOSE DETAILS APPROVED BY THE OUTLINE PERMISSION), LAYOUT, SCALE, APPEARANCE AND LANDSCAPING (CONDITION 1) PURSUANT TO OUTLINE PLANNING PERMISSION 12/02571/OT; ON LAND AT PHASE A OF THE NORTHERN QUADRANT, EAST LEEDS EXTENSION, LEEDS, LS14.</p> <p>The report of the Chief Planning Officer requests Members consideration on a Reserved Matters Application for residential development of 407 dwellings within the Northern Quadrant to approve details in relation to access (save for those details approved by the Outline permission), layout, scale, appearance and landscaping (Condition 1) pursuant to Outline Planning permission 12/02571/OT; on land at Phase A of the Northern Quadrant, East Leeds Extension, Leeds, LS14.</p>	17 - 50

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8	Moortown		<p>SUBJECT: 23/05615/FU – SINGLE STOREY SIDE EXTENSION; ALTERATIONS TO THE REAR INCLUDING REPLACEMENT OF REAR WINDOW WITH PATIO DOORS AND ASSOCIATED STEPS; EXTENSION OF EXISTING PATIO AREA TO REAR WITH NEW BALUSTRADE, RETAINING WALL AND BOUNDARY TREATMENT TO SIDE; DEMOLITION OF THE EXISTING STORAGE ANNEX AND DETACHED GARAGE TO REAR AT 277 LIDGETT LANE GLEDHOW LEEDS LS17 6PD</p> <p>The Chief Planning Officer has submitted a report for a single storey side extension; alterations to the rear including replacement of rear window with patio doors and associated steps; extension of existing patio area to rear with new balustrade, retaining wall and boundary treatment to side; demolition of the existing storage annex and detached garage to rear at 277 Lidgett Lane Gledhow Leeds LS17 6PD</p>	51 - 62
9	Moortown		<p>23/05807/FU – PART TWO STOREY, PART SINGLE STOREY SIDE AND REAR EXTENSION AT PARKLAND CRESCENT, MEANWOOD, LEEDS, LS6 4PR</p> <p>The report of the Chief Planning Officer requests consideration on an application for part two storey, part single storey side and rear extension at 36 Parkland Crescent, Meanwood, Leeds, LS6 4PR.</p>	63 - 74
10			<p>DATE AND TIME OF NEXT MEETING</p> <p>To note that the next meeting of the North and East Plans Panel will be on Thursday 14th December 2023 at 1.30pm.</p>	
2				
a)				

Item No	Ward	Item Not Open		Page No
b)				

Third Party Recording

Recording of this meeting is allowed to enable those not present to see or hear the proceedings either as they take place (or later) and to enable the reporting of those proceedings. A copy of the recording protocol is available from the contacts named on the front of this agenda.

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Planning Services

Merrion House
Merrion Centre
Leeds

To all Members of North and East Plans
Panel

Contact: David Newbury
Tel: 0113 378 7990
david.m.newbury@leeds.gov.uk

Our reference: NE Site Visits
Date: 07th November 2023

Dear Councillor,

SITE VISITS – NORTH AND EAST PLANS PANEL – THURSDAY 16TH NOVEMBER 2023

Prior to the meeting of the North & East Plans Panel on Thursday 16th November 2023 the following site visit will take place:

Time	Ward	
10.25am		Depart Civic Hall
10.40 – 10.50am	Moortown	23/05807/FU - Extensions to 36 Parkland Crescent, Meanwood, LS6 4PR
10.55 – 11.05am	Moortown	23/05615/FU - Extensions to 277 Lidgett Lane, Gledhow, LS17 6PD
11.15 – 11.45am	Crossgates & Whinmoor	22/05970/RM – Details of 407 dwellings at Phase A, North Quadrant, York Road, LS14
12.00 (noon)		Return to Civic Hall

For those travelling by mini-bus please meet in the ante-chamber at the Civic Hall, Portland Crescent at 10.20am for a prompt start at 10.25am. For those unable to use the minibus, or who prefer to travel separately, the visit timings and details above should allow for this. If you are making your own way to the site please let me know and we will arrange an appropriate meeting point.

Yours sincerely

David Newbury
Group Manager
Planning Services

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NORTH AND EAST PLANS PANEL

THURSDAY, 19TH OCTOBER, 2023

PRESENT: Councillor J Akhtar in the Chair

Councillors B Anderson, J Heselwood,
D Jenkins, R Jones, J McKenna, M Millar,
N Sharpe and R. Stephenson

SITE VISITS

Councillors Akhtar, B Anderson, Heselwood, Jones, McKenna, Sharpe, and Stephenson attended the site visit earlier in the day.

44 Appeals Against Refusal of Inspection of Documents

There were no appeals.

45 Exempt Information - Possible Exclusion of the Press and Public

There were no exempt items.

46 Late Items

There were no formal late items.

47 Declaration of Interests

Members did not declare any interests.

48 Apologies for Absence

No apologies were received.

49 Minutes - 21st September 2023

RESOLVED – That the minutes of the previous meeting held Thursday, 21st September 2023, be approved as an accurate record.

50 Subject: 23/01507/FU – Phased development to comprise demolition of existing buildings and erection of a food store (Use Class E), care home (Use Class C2) and eight senior living homes (Use Class C3) with associated access, parking, servicing area and landscaping at Mercure Hotel, Leeds Road, Wetherby, LS22 5HE.

The report of the Chief Planning Officer presented an application for a phased development to comprise demolition of existing buildings and erection of a

Draft minutes to be approved at the meeting
to be held on Thursday, 16th November, 2023

food store (Use Class E), care home (Use Class C2) and eight senior living homes (Use Class C3) with associated access, parking, servicing area and landscaping at Mercure Hotel, Leeds Road, Wetherby, LS22 5HE.

Members of the Panel attended a site visit earlier in the day.

Photographs and slides were shown throughout the officer presentation, and the following information was provided:

- The proposal seeks permission for a phased development to comprise demolition of existing buildings and erection of a food store (Use Class E), care home (Use Class C2) and eight senior living homes (Use Class C3) with associated access, parking, servicing area and landscaping.
- At the time of the report being prepared, 122 objection comments had been received, including responses from Wetherby Town Council, Wetherby Civic Society, Better Wetherby Partnership and Leeds Civic Trust.
- 611 support comments had been received at the time of the report being prepared
- The reasons for refusal are set out as follows:
 - Principle of development which prejudices delivery of a housing site – a substantial proportion of the site is of non-housing use and would thereby prejudice the plan-led approach for development that is adopted in Leeds. It is also considered that this may add pressure on greenfield sites.
 - Principle of out of town retail development – it is considered that the proposed development of a food store in an out-of-centre location has a significant impact on the vitality and viability of Wetherby Town Centre and contrary to wider objectives of the local development plan and the National Planning Policy Framework (NPPF).
 - Harm to heritage assets – Wetherby Conservation Area and the Grade II listed West Lodge, as well as negatively impacting upon the significance of a non-designated heritage asset, Grange View.
 - Impact to trees– the proposal includes unacceptable mitigation of tree loss and there is a poor relationship to TPO=designated trees in particular, as well as open land beyond the key gateway. It was noted that the officer report does not make reference to Core Strategy Policy SP13, and this is to be included in the reason for refusal if Members were minded to follow the Officer recommendation.
 - Amenity – there are concerns regarding poor standard of amenity for residents, and poor outlook distances to rear boundary windows and front windows. There are also poor garden areas in terms of shape and usability in terms of sun-light that can access them. There is also only a 1m buffer between the car park to the food store and senior living home gardens.

- Highways – the failure to provide a mechanism to deliver necessary on-site and off-site highways works including contributions for highways works to address cumulative impacts on local hotspots, bus stop provision, a crossing on Boston Road, revisions to an existing weight limit from the nearby roundabout and pedestrian connectivity improvements, as well as provision for travel plans for both the food store and residential elements of the development. While the applicant has indicated they are willing to provide, there is no Agreement in place currently, nor under negotiation, via which this would be secured. It was noted that the officer report does not reference Policy D2 contained in the Wetherby Neighbourhood Plan, which sets out that the proposal does not seek and relate to connectivity of new developments. It was confirmed this policy should be included in the reason for refusal if Members were minded to follow the Officer recommendation.
- A similar planning application scheme was withdrawn in 2023 and officers raised concerns regarding the fundamentals of the application.
- The site forms part of an allocated housing site (HG2-20), as allocated in the Site Allocations Plan (SAP) and has an indicative capacity of 86 units.
- The site is within the settlement of Wetherby and opposite designated Green Belt. The site is outside, but adjacent to, the Wetherby Conservation Area. The part of the conservation area to which the application site is adjacent is 'Character Area 3: riverside area.' 12 Boston Road, immediately to the east of the application site, is considered a Positive Building within the Wetherby Conservation Area Appraisal and Management Plan.
- Grange View, a terrace to the east/north of the application site, is considered to represent a Non-Designated Heritage Asset. To the north, east and west of the application is residential development. Properties to Micklethwaite Grove, to the north of the site, and Ings Walk, to the west of the site.
- Land levels fall moving west to east across the site, with the lowest land level of the application site being the care home.
- The application site includes a number of trees that benefit from Tree Preservation Orders (TPO) and there are also a number of individual TPO trees adjacent to the application site, within properties at Grange View and Micklethwaite View.
- Reference was made to the boundary of Wetherby Town Centre. It was noted that there is already existing retail provision within and outside of the boundary.
- The proposed access to the site is to be taken from the A58 Wetherby Road to the south of the application site. The access is to be positioned to the west of the existing access. The existing access is to be closed as part of the proposal.
- A number of section drawings were referred to, to show the massing and scale of the proposed development in relation to neighbouring properties.

- Proposed food store – indicative signage on site subject to advertisement consent. Glazing predominates the frontage on the A58 and stone is proposed to eastern and southern areas of elevations. It is proposed that a food store and delivery bay will be positioned to the north of the site. There will also be parent and child parking bays as well as disabled access.
- Proposed care home – the northern elevation faces Grange View and includes the main access to the care home building. The eastern elevation faces onto the property at Boston Road. Stone is proposed for most of the elevations, as well as render and glazing. The care home is proposed as a 3 storey, with a 4 storey element where the roof terrace and plant room for residents will be. Residents will have the benefit of shared spaces and atriums, as well as activity rooms, training area, cinema, and spa/salon.
- Proposed senior living homes – there are 3 house types, 3X 2-bed units, 4X 3-bed units and 1X 4-bed units. The C3 senior living homes therefore falls within the preferred housing mix ranges as per CS policy H4. There are no formal front gardens to the units and the shape of the gardens to the rear varies. The house types are contemporary in design with a variation of glazing styles to each of the properties.
- The landscaping proposed to the care home and each of the senior living homes will be an extent of patio areas to some of the ground floor units in the care home, hard surfacing and garden areas proposed to the senior living units and tree planting will also be primarily within gardens rather than the creation of a tree lined street scene. There is also a 1.8m boundary treatment proposed along the boundary of the care home.

Since publication of the report, a number of updates are as follows:

- Officer correction of paragraph 157 of the report. Reference to ENV2 is in error. This should read ENV1.
- Additional comments have been received in support of the application on the grounds that there is need for additional retail facilities, desire for another supermarket and the provision of providing local choice rather than travelling further afield.
- Further objection comments have been received regarding the impact on Wetherby Town Centre, scale of the proposal and poor amenity.
- Additional representations have been received from Better Wetherby Partnership and Wetherby Town Council reiterating their earlier objections to the scheme.
- Objection comments have been received from Councillors Lamb and Harrington regarding poor communication between Lidl and ward members / local community. Concerns also related to:
 1. The location of the proposed development.
 2. The proposals being on land allocated for much needed housing.
 3. The proposals not having adequate amenity for residents.
 4. The scale of the proposals being overbearing on neighbouring properties.

5. The proposed access to the site and the roundabout already being heavily congested.
6. Not within Wetherby Town Centre and the adverse impact this may have on the Town Centre's viability, as well as being contrary to Core Strategy policies.
7. Design and layout concerns.

The Area Planning Group Manager commented on correspondence that officers and members had received before the meeting and explained that members have a duty to look at planning applications impartially and deal with them based on planning merits and how applications sit with planning policies. Comments both in objection and support that were received within the statutory timeframe for consultation had been duly considered and were referenced within the Report. The subsequent correspondence was received outside the statutory consultation period but had been summarised for Members. Nonetheless, the report before the Panel was comprehensive and it was safe to proceed and determine the application presented. Members were advised that they were safe to set aside representations received outside of the formal planning process, and to not place weight on them.

The Legal Officer outlined the public speaking protocol with particular attention drawn to the provisions in respect of applications recommended for refusal. Where an application is recommended for refusal, only if the applicant or supporters have registered their intention to address the Panel, will any objectors usually be allowed to speak. However, a speaker previously registered to speak in favour of the application had confirmed that they would no longer be attending Panel. It was understood that the applicant had not registered to speak. As a result, two speakers previously registered to speak in objection had no speaking rights. Only if Chair thought that Members would not be following the Officer recommendation, would he be able to later use his discretion to give the objectors an opportunity to speak if it was felt necessary.

In responding to questions from Panel Members, officers confirmed the following:

- The most recent application to extend Morrisons was in 2021 for the extension to the home delivery part of the operation and not the sales floor. The most recent application to extend the sales floor, was in 2012.
- Further to a concern regarding the 4 bed unit proposed onsite, it was confirmed that the senior living homes are for those aged over 55 and this may be, for example seeking to accommodate for individual(s) aged over 55 with older children living with them. Although, there is no identified need for such a scenario, it is considered reasonable that such a need would exist. It was also identified that the variation of the mix assists the proposal in meeting Policy H4.
- The site was allocated for housing through the SAP process and accordingly became an allocation in 2019. It was also confirmed that there is a site requirement that this particular site is supported for elderly accommodation and independent living.

- Whether a redevelopment of the existing hotel on the site would be acceptable could not be considered, as Members must look at the application before them and determine that. Hypothetically though, a hotel does not fall within an employment use, but instead a leisure use. Redevelopment of the hotel would therefore replace existing provision, rather than bring about a new employment use of the site. This would arguably have a less significant impact than a new employment or housing use, but this was still only a hypothetical scenario. . In any event, there are sites that have employment allocations on them in the vicinity of the development site.
- If the application is approved, it was confirmed that there may be a potential requirement for additional sites to be identified for housing as this site would not have been able to come forward for housing under HG2 as envisaged within the housing target.
- Officers have included design policies in 3 reasons for refusal and each of the elements pick up on concerns relating to site layout in relation to insufficient landscaping, scale and amenity impact. Concerns regarding the poor design and layout therefore run as a 'common thread' throughout the current, proposed reasons for refusal.
- The application proposal would be capable of meeting Policy G9 which requires Biodiversity Net Gain % provision, subject to detail coming forward.
- Information has not been submitted on where trees will be planted elsewhere in mitigation for the on-site tree loss, and it therefore cannot be confirmed whether that will be considered an appropriate mitigation.

Comments received from members included:

- Members have experienced issues elsewhere with Lidl and its operating hours as well as associated anti-social behaviour and parking related matters.
- Members supported the care home element of the application and acknowledged the need for such housing in this area. Members also commented on the need to provide such accommodation to elderly residents in order to free up the housing market, to alleviate pressures on greenfield sites.
- The site location is not considered appropriate for a supermarket.
- Associated traffic implications.
- Concern regarding the proposed senior living 4 bed unit.
- A member raised concern regarding people living in the care home and being a distance away from Wetherby Town Centre, and issues associated with bus provision and confining elderly residents to the care home.
- Members expressed disappointment at the seeming lack of engagement from the applicant with local residents and Ward Councillors.
- It was welcomed that the Neighbourhood Plan had been referenced and the application's conflict with Neighbourhood Plan policies was noted.

- Leeds' approach to planning decision-making is Plan-led. That should be clearly acknowledged and followed in determination of this application.

A motion was put forward to refuse planning permission as per the officer recommendation. This motion was moved and seconded, and the vote was carried. Therefore it was

RESOLVED – To refuse the application subject to the inclusion of reference to Core Strategy Policy SP13 within reason 4 and Policy D2 contained in the Wetherby Neighbourhood Plan within reason 6, for reasons of refusal.

51 Date and Time of Next Meeting

To note the date and time of the next meeting as Thursday, 16th November 2023 at 1.30pm.

The meeting ended at 14:55.

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Originator: Andrew Crates
Tel: 0113 378 7965

Report of the Chief Planning Officer

NORTH & EAST PLANS PANEL

Date: 16th November 2022

Subject: 22/05970/RM - Reserved Matters Application for residential development of 407 dwellings within the Northern Quadrant to approve details in relation to access (save for those details approved by the Outline permission), layout, scale, appearance and landscaping (Condition 1) pursuant to Outline Planning permission 12/02571/OT; on land at Phase A of the Northern Quadrant, East Leeds Extension, Leeds, LS14.

APPLICANT	DATE VALID	TARGET DATE
Persimmon Homes West Yorkshire	31.8.22	30.11.22

Electoral Wards Affected:

Crossgates and Whinmoor

Harewood

Yes Ward Members consulted (referred to in report)

Specific Implications For:

Equality and Diversity

Community Cohesion

Narrowing the Gap

POSITION STATEMENT: Members are requested to note the content of this report and presentation and to provide views in relation to the questions posed, prior to the consideration of and determination of the application at Panel.

INTRODUCTION:

1. This Reserved Matters application is brought to North and East Plans Panel in order to seek Members views on the proposals for 407 dwellings on the first phase of development within the Whinmoor Fields, 'Northern Quadrant' of the East Leeds Extension. This follows a pre-application presentation (PREAPP/19/00258) for 423 dwellings, which was brought to North and East Plans Panel on 30th June 2022.
2. The application relates to the north-western part of the Whinmoor Fields (Northern Quadrant) site, spanning from Wetherby Road (A58) to just east of Coal Road. The overall Whinmoor Fields site already has the benefit of an outline planning permission (12/02571/OT – outline application for means of access and erection of residential

development (up to 2000 dwellings), retail, health centre, community centre and primary school development, with associated drainage and landscaping). Therefore, the remainder of the site is to be developed by others.

3. The application seeks to address the matters remaining, identified as 'Reserved Matters', and which were therefore not considered under the outline application, though the point of access from ELOR and the provision of the spine road are fixed. Therefore, the matters reserved for determination and for consideration by Members at Panel in due course comprise:

Access (save for details approved through the outline consent)
Appearance;
Landscaping;
Layout; and
Scale

4. The primary means of access via the East Leeds Orbital Road (ELOR) and through the site in the form of the spine road were fixed under the outline consent. The spine road serves the interior of the site, will connect to neighbouring phases of development and is designed to accommodate bus services.

BACKGROUND TO EAST LEEDS EXTENSION (ELE):

5. The East Leeds Extension (ELE) is a significant housing allocation in the development plan, incorporating an area of largely undeveloped land extending over 233 hectares around the edge of Swarcliffe, Whinmoor and Crossgates, including Red Hall, which has been identified for the development of around 5,000 homes. The development will require substantial new infrastructure, including the East Leeds Orbital Route (ELOR), which opened in August 2022. A plan showing the various 'quadrants' of the ELE and ELOR is attached at Appendix 1.
6. To date, five planning applications for housing in the ELE have been submitted, and three approved. The various applications are summarised below (moving north to south geographically):
 - Red Hall – planning application 21/04468/FU - Residential development of 352 new build dwellings, conversion of offices to form 2 apartments in the Old Farmhouse, refurbishment and extension of Gate House, conversion of outbuildings to form garages, bin and cycle store; and associated works. The application was submitted in June 2021 and is subject to ongoing negotiations, following a Position Statement to North and East Plans Panel on 30th June 2022.
 - Whinmoor Fields, 'Northern Quadrant' – planning application 12/02571/OT – Outline application for means of access and erection of residential development (up to 2000 dwellings), retail, health centre, community centre and primary school development, with associated drainage and landscaping on land between Wetherby Road, Skeltons Lane and York Road. The application was approved on 5th July 2022. Members may recall that a pre-application presentation (PREAPP/19/00258) for the reserved matters in relation to the first phase of development was provided at the North and East Plans Panel of 30th June 2022. This has subsequently been followed by the submission of reserved matters application 22/05970/RM for 407 dwellings on Phase A (land to the east of A58 Wetherby Road), which is currently under consideration and is the subject of this

position statement report. Separately, a further reserved matters application, 23/04319/RM, is for two further phases of development, for 220 dwellings and 132 dwellings (on land to the north of A64 York Road) and is under consideration.

- Whinmoor Fields 'Northern Quadrant' (part) – planning application 17/01858/FU - Demolition of existing buildings; erection of 51 dwellings and garages; with associated highway infrastructure, landscape and drainage works on the site of the former Bramley Gardens Home, Skeltons Lane. This application was approved on 16th October 2017 and development on site is complete.
- Morwick Green, 'Middle Quadrant' – planning application 20/04464/OT – Outline application for up to 875 dwellings including means of primary vehicle access and central spine road and associated infrastructure works (All other matters reserved) on land between York Road and Leeds Road. The application was approved on 24th August 2022. Two reserved matters applications have subsequently been submitted - 22/07335/RM for 250 dwellings and 22/07336/RM for 43 dwellings, both of which were approved on 17th October 2023. A third reserved matters application, 23/00848/RM, is for 517 dwellings and is under consideration.
- Pendas Beck, 'Southern Quadrant' – planning application 21/08379/OT – Outline application for up to 925 dwellings, including means of primary vehicle access, central spine road and associated infrastructure works and a 2.6ha Community Hub facility (provisionally comprising primary school, convenience store and health provision) all on land pertaining to the Southern Quadrant, between Leeds Road and Manston Lane. A Position Statement was reported to Plans Panel on 22nd September 2022, where Members resolved to defer and delegate approval, subject to having sight of conditions, which were the subject of a further information report to Plans Panel on 24th August 2023.

PROPOSAL:

7. The proposal is for a residential development of 407 dwellings on the site, a reduction from the 423 in the submitted application. The constraints of the developable area are set by the existing physical features (trees and hedgerows), as well as the presence of ELOR, its junction with Wetherby Road (A58) and the route of the spine road linking to the future phase of development to the east, as set out in the masterplan approved at outline stage. The S106 Agreement for the outline consent also secures a 'Site Wide Retained Open Spaces Strategy' (SWROSS), essentially to ensure an appropriate quantum, function and siting of greenspaces throughout the Whinmoor Fields site, in accordance with the Council's greenspace policies. A copy of the Whinmoor Fields masterplan is included at Appendix 2 for information.
8. Given the above constraints and the requirements of the outline consent, the proposals include taking a spine road from the newly built ELOR junction to the west, through the site to the eastern boundary, where it will then continue into the next phase of development. The spine road has been designed to current highway standards in terms of its specification, designed to accommodate a bus route, having verges to each side planted with trees, footways and a segregated cycleway on the south side. The footways and cycleways have been designed to provide six connections through to Red Hall Lane and Skeltons Lane and consideration is currently being given to the locations of footway 'build outs' on the northern side of

Red Hall Lane and Skeltons Lane in order to facilitate desire lines for pedestrian and cycle movements.

9. The submitted character areas plan indicates three broad development areas, the 'rural edge' abutting ELOR, a 'contemporary' area stretching along the spine road and the 'urban edge' spanning across the southern side. Each of these areas is proposed to contain the following in terms of design and use of materials:

Urban edge

External materials:

- Red brick
- Grey roof tiles
- Grey / anthracite windows and door frames to all elevations
- Black rainwater goods

Housetype detail:

- Brick heads and sills to all elevations
- Brick band course to ground floor cill
- Plain sash style windows to front and dual elevational dwellings
- Predominantly flat canopies, with some lean to
- Projecting eaves

Contemporary:

External materials:

- Mainly red brickwork with buff brick in key positions
- Decorative boarding
- Rendered panels
- Mainly red with grey tiles to red brick properties
- Grey / anthracite window and door frames to all elevations
- Black rainwater goods

Housetype detail:

- Flat brick heads and cills to all windows within brickwork panels to all elevations
- Plain casement windows
- Flat canopies
- Flat roof dormers
- Projecting eaves

Rural edge:

External materials:

- Buff brickwork
- Red roof tiles
- Grey / anthracite window and door frames to all elevations
- Black rainwater goods

Housetype detail:

- Flat artstone heads and cills to front and dual elevations
- Brick heads and cills to side and rear elevations
- Artstone band course to ground floor cill
- Sash style windows
- Predominantly peak canopies with some flat and lean-to canopies
- Flat roof dormers

- Projecting eaves

10. The open spaces strategy secured on the outline consent indicates three areas of greenspace in this part of the Whinmoor Fields site – one at the junction of Red Hall Lane and Coal Road, one on the northern side of the spine road east of Coal Road, and one at the northern end of Coal Road adjacent to ELOR. While the strategy seeks to distribute greenspace typologies and playground infrastructure throughout the overall development, there is some scope for pragmatism with regard to precise siting as a result of the detailed design process, subject to the quanta and play infrastructure requirements being fulfilled. In this particular case, further work on the detailed drainage design has indicated that the lowest part of the site is located between the land outside the application site (with a historical consent for a public house) and the primary school site. Accordingly, the applicant is proposing to locate an area of greenspace in this location, rather than development. However, it is also proposed to still provide an area of greenspace at the junction of Red Hall Lane and Coal Road, including a playground, as anticipated in the open spaces strategy. The other two greenspaces providing a smaller park to the north of the spine road and a woodland area adjacent to Coal Road / ELOR are proposed, as required by the open spaces strategy.
11. Since submission, the application has been subject to negotiations that have resulted in revised proposals, as follows:
- Fully revised road layout, including:
 - Replacement of some longer cul-de-sacs with looped roads, and the reduction in length of some remaining cul-de-sacs;
 - Replacement of crossroads to the north of the primary school land with a staggered junction and amended junction spacing on the spine road;
 - Inclusion of “Copenhagen Crossings” across all junctions on the spine road; and,
 - A more legible street hierarchy, including the provision of footways on both sides of all secondary streets.
 - The creation of a cycle / footpath link down the western side of the site and across the southern site boundary, running parallel to Wetherby Road and Red Hall Lane;
 - The inclusion of build-outs on Red Hall Lane to aid pedestrian movements and act as a traffic calming measure;
 - Improved access to rear gardens and reduction in frontage parking through a revised housing mix;
 - Paths have been increased to 3m within areas of Public Open Space and access points into the site have been opened up to provide gateways and assist with wayfinding;
 - New apartment styles are proposed, featuring Juliet balconies and access doors to the front and rear to increase activity and act as a better gateway into the site,
 - Parking courts for apartments revised to improve residents’ amenity and provide additional defensible space;
 - Character areas have been refined, with greater consistency in material selection now proposed within each of the three character areas;
 - A revised energy strategy, with all dwellings now proposed to be gas-free and heated by electrically powered air source heat pumps (“ASHP”);
 - A revised drainage strategy including the provision of two new swales to improve water quality.
 - The Landscape Masterplan has been revised to reflect officer feedback. Two new Local Areas for Play (LAPs) are now proposed to the west and north of the site, in

addition to the larger equipped play area to the south of the site adjacent Red Hall Lane and Coal Road.

12. The revised proposals described above have been subject to further consideration by Officers and constitute the scheme presented to Members as it currently stands.

SITE AND SURROUNDINGS

13. The site is located immediately to the north of the existing main urban area and spans between Wetherby Road (A58) to the west, Red Hall Lane and Skeltons Lane to the south and a field boundary east of Coal Road to the east. As discussed above, ELOR is now complete and forms a northern edge to the developable area of the site.
14. Whilst allocated for housing in the Development Plan, the site has been used for agricultural purposes as arable farmland, with hedgerows located along the boundaries with Red Hall Lane, Skeltons Lane and Coal Road, as well as field boundaries. The hedgerows are overgrown in part and occasionally interspersed with trees. A small group of trees particularly exists at the junction of Coal Road and Red Hall Lane.
15. In the wider context, the site is located to the north of the existing residential area and sits between Red Hall, to the west, and agricultural land to the east (central part of the Whinmoor Fields site). ELOR forms a boundary to the north, beyond which is open countryside punctuated by a small number of dwellings along Wetherby Road (A58), as well as The Wellington public house and BP petrol filling station.
16. It should be noted that a small part of the housing allocation at the junction of Coal Road and Skeltons Lane is in separate ownership and was excluded from the outline consent. Further information is provided below at paragraph 17 in terms of planning history.

RELEVANT PLANNING HISTORY:

Planning applications:

17. The wider relevant planning history in the context of the ELE is discussed above in paragraphs 5 and 6.
18. To the north of the site, the proposed ELOR is relevant. 17/04351/LA - Construction of a dual carriageway orbital route incorporating new roundabouts, cycle and pedestrian bridges, underpass and overbridge; laying out of country park – Approved 11.12.17. Construction of ELOR is currently underway.
19. Aside from the above applications, a small area of land at the junction of Coal Road and Skeltons Lane, and owned by Samuel Smith's Brewery, was excluded from the Whinmoor Fields outline application. Separately, planning permission 17/01319/OT granted outline consent for a public house and associated car parking, landscaping and infrastructure, approved 18.9.17. Given the passage of time, that permission has now lapsed.

Pre-application enquiries:

20. PREAPP/19/00258 - Reserved matters application for first phase of the Whinmoor Fields, 'Northern Quadrant', East Leeds Extension. Proposals include 423 dwellings with public open space.

Planning Enforcement cases:

21. None.

HISTORY OF NEGOTIATIONS:

22. As discussed above, the emerging pre-application proposals for this part of the Whinmoor Fields site need to be seen in the wider context of the ELE. The Council has also adopted the East Leeds Extension Supplementary Planning Document (SPD), which covers the Northern, Middle and Southern Quadrants.
23. As noted above, the pre-application proposals (PREAPP/19/00258) for 423 dwellings were presented to Plans Panel on 30th June 2022. In response to questions from Members, the following was confirmed (as set out in the minutes of that meeting – attached for information at Appendix 3):
- Developer will consider a “gateway feature” at the entrance from the roundabout.
 - There is parking to the rear of the apartments, and parking spaces have been set to the side of dwellings to reduce on-street parking. Members also raised concerns about refuse collection.
 - In response to concerns relating to pollution and air quality from ELOR, officers noted that this is subject to conditions attached to the outline planning permission and that the applicant is liaising with consultants on this matter.
 - The site will be equipped with a local play area that will be fenced, accessible greenspace, cycle ways and footways. Members asked that play equipment is fully inclusive for all children and to consider not fencing in the play area and to be more creative with such considerations.
 - ELOR is intended to take the bulk of traffic and the closure of Red Hall Lane will be monitored.
 - Members requested that the applicant do more in terms of creative play spaces, as well as working on landscape proposals. It was confirmed that the applicant will consider community spaces / allotments, as well as places for residents / children to sit.
 - Measures will be in place in terms of grey water and recycling.
 - The first phase of the site will use gas boilers and further clarity is required regarding the future heating of homes on the site.
 - The opening of the school is dependent on triggers being reached in the S106 Agreement requiring the transfer of the necessary land to the Council or an Education Body (by 459 dwellings). Separately, the developers are to pay contributions towards the funding of the school.
 - Discussed greenspace outside of red line, owned by Samuel Smith’s Brewery.
24. Councillor P Grahame attended the meeting and explained that her main concern, as well as that of her constituents, related to the closure of Red Hall Lane. Residents use this road to access Wetherby and Shadwell. Further concerns were relayed regarding possible ‘rat running’ issues potentially arising as a result of the proposals.
25. Panel Members discussed concerns regarding the closure of Red Hall Lane and were keen to identify a way to keep this road open for existing residents. Officers confirmed that whilst there is not a formal mechanism at this moment in time to remove the condition relating to the closure of Red Hall Lane, officers have noted Members comments and will have regard to these when considering this issue in the future.

26. Members relayed comments in response to the officers questions in the submitted report:
- 1) **Do Members support the emerging principles in respect of the design and layout?** Comments were made regarding the entrance of the site from ELOR. Members were of the view that the proposed apartment block would not provide an attractive feature. It was considered that the layout should be amended so that dwellings should be sited, to the north and south of the entrance road, so that they look out across the site's access road towards ELOR. There is also an opportunity to include a gateway feature.
 - 2) **Are there any observations Members would wish to make in respect of housing provision, including regarding the house-flat ratio, no. of bed units, and affordable housing proposed?** It was suggested, as mentioned in response to question 1, that the location of apartments on the entrance be re-considered.
 - 3) **Do Members have any observations in relation to the landscape proposals?** Issues were raised in relation to the proximity of the northern boundary to ELOR and concerns regarding air pollution and the need for further buffer planting.
 - 4) **Do Members have any observations in relation to transport and connectivity?** There are concerns regarding on-street parking and further work needs to be done around discouraging on-street parking along the spine road.
 - 5) **Are there any other matters which Members would wish to raise?** Members highlighted the importance of ensuring open spaces are accessible and to include inclusive play areas for all children. Officers were also encouraged to utilise the woodland for informal recreation purposes. Members also suggested that the proposals include some form of community space, such as allotments or 'grow your own' spaces. Furthermore, officers noted comments regarding the closure of Red Hall Lane and will take this forward in future considerations relating to the proposals.
27. In conclusion, Members resolved to note the content of the report on the proposal and provided their views in relation to the questions posed in the submitted report to aid the progression of the application.

CONSULTATION RESPONSES:

Statutory Consultees:

28. Environment Agency: Appropriate conditions were attached to the outline consent. No further comments are necessary at this time.
29. Coal Authority: No observations.
30. Natural England: No comments, refer back to standing advice.
31. Highways: Additional information and some revisions to the layout are required, subject to comments from the S38 team. Further consideration of improvements to cycle and pedestrian links are required.

Non-Statutory Consultees:

32. Contaminated Land: Appropriate conditions were attached to the outline consent. No further comments are necessary at this time.
33. Environmental Studies: No comments, though Environmental Health should be consulted.
34. Yorkshire Water: No objections.
35. Climate and Energy: Intended compliance with policies EN1 and EN2 is noted, though further information is requested.
36. Landscape: Advise that an accurate Arboricultural Impact Assessment is required to fully consider the impacts of drainage and contamination. Advice is also provided in relation to landscape buffers, street trees, greenspaces and paths.
37. Environmental Health: No adverse comments.
38. Design: A lot of the previous comments have been taken on board and the layout now appears much more rational. The mass, scale and design of the apartment blocks have been a concern and are subject to ongoing discussion. Comments on the revised house type elevations are to follow and it is anticipated that a verbal update shall be provided as part of the presentation.
39. Access: Content that policy H10 has been complied with.
40. Flood Risk Management: Advice is provided in relation to information required to discharge drainage conditions attached to the outline consent. It is accepted that the high water table prevents the use of attenuation basins in the south-east corner, though further investigation is required for the higher areas of the site where on or off-line basins may be possible.
41. Nature Conservation: No comments received as yet.

PUBLIC/LOCAL RESPONSE:

ELE Consultative Forum:

42. An ELE Consultative Forum, chaired by Cllr Pauleen Grahame, was originally established for the Whinmoor Fields outline planning application and has met regularly over the last few years to discuss the emerging proposals for the various quadrants. These pre-application proposals were presented by the developer at the Consultative Forum meeting of 25th March 2022. This was preceded by a presentation to Crossgates and Whinmoor and Harewood Members in February 2022. The proposals were generally well received by Ward Members, with a constructive discussion around design and the use of materials. Discussion also took place in relation to explaining the access, highway and public transport penetration requirements of the outline consent. Further regular updates have been provided and it is envisaged that the Consultative Forum will continue to meet regularly and therefore continued updates on the proposals shall be provided as and when appropriate. It is envisaged that a further meeting would be held once the Reserved Matters application was formally pending consideration with the Council.

Local engagement by the applicant:

43. The applicant leafleted a wide area of nearby properties and arranged a consultation event for 22nd June 2022. This was well attended with approximately 80-100 residents and 21 written comments received. It is also understood that the applicant created a website for the development, which went live from 13th June 2022, to enable residents to view the emerging material. At the time of submission, the website had received 491 unique visitors.

Ward Member Comments:

44. No formal comments have been received in relation to the application. Nevertheless, it is noted that Ward Members have received presentations of the emerging proposals and have commented on them via the ELE Consultative Forum, as discussed above.

Parish Council:

45. None

General Comments:

46. Four letters have been received, noting the following matters:
- Leeds Swifts have requested that a condition is imposed requiring Swift bricks to be included in new dwellings, in accordance with the Council's guidance.
 - Other letters also refer to the need for Swift bricks, as well as hedgehog highways.

Comments in Support:

47. None

Comments in Objection:

48. One letter has been received from Leeds Civic Trust, noting the following concerns:
- The proposals should be updated to accord with current planning policy.
 - The scheme remains car dependant without redeeming features in terms of sustainability.
 - While provision is made for cycling routes, there is no consideration of public transport.
 - It is unclear whether existing schools are able to absorb increases in demand.
 - Other supplementary facilities in the local centre are not scheduled until the last phases of the Whinmoor Fields development.
 - There is an absence of local shops and the proposals are contrary to 15-20 minute neighbourhoods.
 - There are discrepancies between the illustrations of car parking provision at the side / fronts of dwellings, obstructing incentives for street life.
 - The illustrations do not include the solar panels noted in the Sustainability Statement.
 - Solar panels are the least justifiable feature when constructions methods should focus on fabric first.
 - There is no ambition for thermal performance to exceed national policy standards, contrary to concerns about fuel poverty.
 - The proposed houses only meet the minimum space standards and are of dubious architectural merit. The focus should be on open space standards and a smaller number of better designed house types.
 - The open space is little more than a buffer to ELOR to alleviate motorway conditions and the proposed woodland is to the other side of ELOR.
 - The school has not materialised and the other open space amenities are undefined in terms of landscape and appropriation.

49. One letter has been received from a local resident, noting the following concerns:

- Concern that the density of development is too high.
- The materials proposed are of a low standard and the house designs are unattractive and not in keeping with housing on nearby roads.
- Concern that the proposal to close Red Hall Lane at its junction with Wetherby Road will create rat-running on existing roads.

PLANNING POLICIES:

The Development Plan

50. As required by Section 38(6) of the Planning and Compulsory Purchase Act 2004 this application has to be determined in accordance with the Development Plan unless material considerations indicate otherwise. The Development Plan for Leeds currently comprises the adopted Local Development Framework Core Strategy (2019), those policies saved from the Leeds Unitary Development Plan (Review 2006), the Site Allocations Plan (2019), the Natural Resources and Waste Local Plan (NRWLP) (2013 and 2015) and any made Neighbourhood Plan, if applicable.

51. The following policies from the Core Strategy are considered to be of most relevance to this development proposal:

General Policy – Sustainable Development and the NPPF
 Spatial Policy 11 – Transport Infrastructure Investment Priorities
 Policy H3 - Density of residential development
 Policy H4 - Housing Mix
 Policy H5 - Affordable Housing
 Policy H8 – Independent Living
 Policy H9 - Minimum Spacing Standards
 Policy H10 - Accessible Housing Standards
 Policy P10 - Design
 Policy P12 - Landscape
 Policy T1 - Transport Management
 Policy T2 - Accessibility requirements and new development
 Policy G3 - Standards for Open Space, Sport and Recreation
 Policy G4 – New Greenspace Provision
 Policy G8 – Protection of important species and habitats
 Policy G9 - Biodiversity improvements
 Policy EN1 - Carbon Dioxide reductions
 Policy EN2 - Sustainable design and construction
 Policy EN4 - District heating network
 Policy EN5 - Managing flood risk
 Policy EN8 - Electric Vehicle Charging Infrastructure
 Policy ID1 – Implementation and Delivery Mechanisms
 Policy ID2 – Planning Obligations and Developer Contributions

52. The following saved policies from the Unitary Development Plan are considered to be of most relevance to this development proposal:

Policy GP5 - General planning considerations
 Policy BD3 – Disabled access and new buildings
 Policy BD5 - Amenity and new buildings
 Policy LD1 - Landscape design
 Policy LD2 - New and altered roads
 Policy N23 - Incidental Open Space

Policy N25 - Site boundaries

53. The following policies from the Site Allocations Plan are considered to be of most relevance to this development proposal:

Policy HG1-288 – Housing - incorporating H3-3A.33 carried forward from the UDP, with an indicative capacity of 3,771 units.

Policy HG5 - allocates sites for school use.

54. The Leeds Natural Resources and Waste Local Plan (NRWLP) sets out how land is needed to enable the City to manage resources, e.g. minerals, energy, waste and water over the next 15 years and identifies specific actions which will help use natural resources in a more efficient way. The following policies from the Natural Resources and Waste Local DPD are considered to be of most relevance to this development proposal:

GENERAL POLICY1 –Support for sustainable development.

AIR1 – The Management of Air Quality through Development measures

WATER1 – Water efficiency

WATER2 – Protection of Water Quality

WATER7 – No increase in surface water run-off, incorporate SUDs

LAND1 – Land contamination to be dealt with

LAND2 – Development to conserve trees and introduce new tree planting.

55. The site is not affected by any Neighbourhood Plans (though it is noted that the Barwick in Elmet Scholes Neighbourhood Plan abuts the eastern part of the wider outline consent area).

Local Supplementary Planning Guidance/Documents

56. The most relevant local supplementary planning guidance (SPG), supplementary planning documents (SPD) are outlined below:

East Leeds Extension SPD (2018)

Neighbourhoods for Living: A Guide for Residential Design in Leeds (December 2003)

Neighbourhoods for Living Memoranda to 3rd Edition (2015)

Sustainable Urban Drainage SPG (2004)

Designing for Community Safety: A Residential Design Guide SPD (May 2007)

Building for Tomorrow Today, Sustainable Design and Construction SPD (August 2011)

Transport SPD (February 2023)

Accessible Leeds SPD (November 2016)

National Planning Policy Framework

57. The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions.

58. The following sections of the NPPF are most relevant for the purposes of determining this application:

- Section 2 – Achieving sustainable development
- Section 4 – Decision-making
- Section 5 – Delivering a sufficient supply of homes
- Section 8 – Promoting healthy and safe communities
- Section 9 – Promoting sustainable transport
- Section 11 – Making effective use of land
- Section 12 – Achieving well-designed places
- Section 14 – Meeting the challenge of climate change, flooding and coastal change

National Planning Practice Guidance

59. The Planning Practice Guidance (PPG) provides commentary on the application of policies within the NPPF. The PPG also provides guidance in relation to the imposition of planning conditions. It sets out that conditions should only be imposed where they are necessary; relevant to planning and to the development to be permitted; enforceable; precise and reasonable in all other respects.

CLIMATE EMERGENCY:

60. The Council declared a climate emergency on the 27th March 2019 in response to the UN's report on Climate Change.
61. The Planning Act 2008, alongside the Climate Change Act 2008, sets out that climate mitigation and adaptation are central principles of plan-making. The NPPF makes clear that the planning system should help to shape places in ways that contribute to radical reductions in greenhouse gas emissions in line with the objectives of the Climate Change Act 2008.
62. As part of the Council's Best City Ambition, the Council seeks to deliver a low-carbon and affordable transport network, as well as protecting nature and enhancing habitats for wildlife. The Council's Development Plan includes a number of planning policies which seek to meet this aim, as does the NPPF. These are material planning considerations in determining planning applications.
63. The section on Sustainability and Climate Change seeks to set out the approach that is being taken by the developer in promoting a scheme which exceeds the requirements of current planning policy, employing a fabric first approach with air source heat pumps in a gas free development. Further, the layout seeks to promote walking and cycling through the siting and quality of pedestrian and cycle routes.

PUBLIC SECTOR EQUALITY DUTY:

64. The Equality Act 2010 requires local authorities to comply with the Public Sector Equality Duty. Taking into account all known factors and considerations, the requirement to consider, and have due regard to, the needs of diverse groups to eliminate discrimination, advance equality of opportunity and access, and foster good relations between different groups in the community has been fully taken into account in the consideration of the planning application to date and at the time of making the recommendation in this report.

65. In this instance it is considered that the proposals do not raise any specific implications in these respects and therefore it is not considered that a full Equality, Diversity, Cohesion and Integration Impact Assessment (EDCI) is required.

MAIN ISSUES:

Land use and principle
Access
Layout
Landscaping
Appearance and Scale
Other matters
Representations

APPRAISAL:

Land use and principle

66. As Members will be aware, at reserved matters application stage, the principle of bringing any site forward for development is already established. In this instance, the principle of the site coming forward for residential development was established through the granting of the outline permission in 2022. Furthermore, both the masterplan submitted with the outline application and the SPD for the ELE indicate residential development and greenspaces within this part of the Northern Quadrant phase. No land use conflict is therefore identified as supporting services and infrastructure are to be located in adjacent phases of the Northern Quadrant and also the Southern Quadrant.

Access

67. Section 9 of the NPPF highlights the importance of promoting sustainable transport and Section 12 of the NPPF deals with the importance of good design. Policies T1, T2 and P10 of the Core Strategy seek to deal with transport management, accessibility, and to ensure new development is of high quality and appropriate to its context. Supplementary guidance in the form of the Transport SPD, Neighbourhoods for Living (including associated addenda) and the East Leeds Extension (ELE) SPD are also of relevance.
68. The ELOR scheme is a fundamental component of development in the ELE. The ELE SPD requires that the development brought forward in each quadrant makes a contribution towards the cost of ELOR, secured through the outline consent.
69. In terms of wider background, it should be noted that the outline consent requires the closure of the eastern arm of Red Hall Lane at its junction with Wetherby Road, once the proposed spine road has been built eastwards and connects to Coal Road. This was to address highway concerns about the safety of the existing crossroads arrangement and to ensure that existing residents always have a way of accessing Wetherby Road – either via the existing junction in the early phase of development, or via Coal Road and the new spine road in order to gain access to Wetherby Road and the ELOR junction. Notwithstanding the above, it is noted that as part of the proposals for the Red Hall site (21/04468/FU), to the west of this application site, it is now proposed to signalise the Wetherby Road (A58) / Red Hall Lane junction and that is likely to happen (subject to approval of that application) sooner than any

consideration needing to be given to the point closure anticipated in the outline consent (which is only triggered by the connection of the spine road to Coal Road). It is noted that the point closure is a contentious matter, as raised previously during discussion of the pre-application proposals, referenced above. However, it is important to be clear that consideration of this reserved matters application cannot undo or amend the condition applied to the outline consent. There are mechanisms within the condition to act as a 'check and challenge' at the point the trigger is reached and thus consideration can be given to the current circumstances on the ground.

70. Concern had previously been raised in the past about existing and potential rat-running and this has been discussed in depth at the Consultative Forum and also Plans Panel. Ultimately, the point closure discussed above will reduce the amount of traffic on Red Hall Lane and while Coal Road will be used by existing residents to travel north to ELOR, it is not considered that it would offer a desirable rat run to non-local traffic, given the presence of ELOR and improvements to the wider network, including Wetherby Road.
71. In addition to the spine road, the section of Coal Road within the development site is intended to carry buses, where they will then connect through to future development. It is therefore important that Coal Road remains open and provides access to the site for public transport and vehicular use. Elsewhere, there will be a number of pedestrian and cycle routes and connections to promote those forms of movement.
72. Notwithstanding the above access matters that have either been approved and/or are subject to conditions on the outline consent, there are also access matters for determination through the reserved matters. As described in the proposal section, the revised layout seeks to provide five footpath and cycle connections from the development through to the existing facilities along ELOR. Additionally, segregated pedestrian and cycle facilities are to be extended from the A58 ELOR / Wetherby Road junction down to the junction with Red Hall Lane, on the east side of Wetherby Road. A segregated cycleway is also proposed on the south side of the spine road, again connecting into the existing ELOR facilities, and will continue eastwards into future phases of development. A key north-south pedestrian and cycle route is provided along and adjacent to Coal Road, connecting from the facilities on ELOR, through to Red Hall Lane, as well as eastwards towards the future primary school phase of development secured through the outline. Along the southern side of the site, a segregated pedestrian and cycle route is proposed to the north of the existing retained trees and hedgerow to Red Hall Lane. This will provide a connection between the facilities proposed on the east side of the A58 Wetherby Road (tying in to the proposals for a signalised junction at the crossroads under the Red Hall scheme) to the facilities to be provided adjacent to Coal Road, together with five connections through the Red Hall Lane to assist with permeability. Given there is currently no footway on the north side of Red Hall Lane, consideration is currently being given to the nature, extent and location of 'build-outs' to follow desire lines as closely as possible.
73. More generally, the earlier design workshop session has helped to inform the development of streets within this phase of development, which have now been amended to take on board the comments made. Accordingly, the streets are arranged in a deformed grid, providing connections to the spine road, but also secondary connections between lower order streets. This helps to ensure that in the event of a blockage, there are other alternative routes to navigate through the new neighbourhood.

74. At this stage, Officers are continuing to consider and negotiate on the latest layout drawings and will be assessing them in detail to ensure that the layout meets highway standards and maximises the potential of sustainable travel modes.

75. **Do Members have any observations in relation to the detailed means of access and connectivity?**

Layout

76. Section 12 of the NPPF highlights the importance of good design and provides a series of principles that should be followed to ensure developments are of good quality. Policies P10 and P12 of the Core Strategy seek to ensure that new development is of high quality and is appropriate to its context and supplementary guidance in the form of Neighbourhoods for Living (including associated addenda) and the East Leeds Extension (ELE) SPD are also of relevance.

77. As a starting point, in this instance, it is helpful to refer to the ELE SPD, prepared by the Council to guide future development. The SPD sets out a number of design principles, as follows:

1. Ensure that the eastern edge of the ELE responds sensitively to provide a transition and assimilate development into the wider landscape.
2. Seek to achieve the Nationally Described Space Standards.
3. Embrace modern methods of construction.
4. Ensure that the central internal spine road is legible and in part this shall be through an increase in the proportion of greater building heights.
5. Improve existing and provide additional green routes for use by pedestrians and cyclists particularly to link greenspaces and enhance permeability and recreational use within and through the site, both west to east and north to south.
6. Encourage movement by providing legible and permeable layout for all modes and creating a network of attractive cycle and pedestrian connections to key destinations within the existing built-up area and the wider rural landscape
7. Provide residential car parking in line with the maximum standards set out at Appendix 9A of the Unitary Development Plan.

78. The reserved matters application has been submitted with a suite of documents, including detailed layout plans, a character areas plan, as well as detailed house type plans and elevations. At pre-application stage, Ward Members and Officers, and latterly Plans Panel, received a presentation from the applicant in which they talked through the design development that has taken place to update their house types. Since then, design workshop meetings have been held to further the design development of the proposed houses, as well as the layout.

79. On the basis of the submitted layout and taking into account the design principles set out in the SPD, Officers would make the following comments:

1. Since the SPD was written, the Council has delivered ELOR and the associated strategic landscaping. The reserved matters application site sits within the housing allocation bounded by ELOR, though care has been taken with regard to building heights, use of materials and localised landscaping. Across the site, the vast majority of the proposed dwellings are two storey or two storey with rooms in the roof space, with some three storey buildings along the spine road and central part of the site, which is considered appropriate.
2. It is noted that all of the new dwellings accord with the minimum space standards

required by Policy H9 of the Core Strategy.

3. A condition on the outline consent requires the submission of a sustainability statement with each phase of development that will need to demonstrate compliance with Policies EN1 and EN2 of the Core Strategy. It is also worth noting that new dwellings will need to comply with emerging Building Regulation requirements, including Part L, which will exceed the requirements in adopted planning policy.
 4. The proposed route of the spine road is logical and is in accordance with the masterplan secured at outline stage. It is considered that the emerging design, in terms of the spine road width and suitability for bus penetration and segregated cycleways, together with verges and tree planning, and building types and heights, all assist with legibility.
 5. The pre-application proposals contain a number of pedestrian and cycle links through to the pedestrian and cycle facilities delivered by ELOR, which in turn provide connections to the wider network in the countryside to the north, east and west. Pedestrian and cycle connections are also made through to Red Hall Lane and Skeltons Lane. These are considered positive, though these are currently being reviewed by Highway officers in order to ensure that these connections tie in with desire lines, as discussed above. Overall, the proposals are considered to provide good pedestrian and cycle provision to and between the proposed greenspaces.
 6. The street layout forms something of a deformed grid that provides for safe pedestrian and cycle spaces on lower order streets, as well as segregated and legible facilities along the spine road, and logical connections to the wider pedestrian and cycle facilities, as described above.
 7. The development accords with current highway and parking standards, as set out in the Transport SPD.
80. In terms of density of development, Policy H3 anticipates densities of 40 dwellings per hectare for 'other urban areas', such as this application site. It is important that allocated housing sites work hard to deliver an efficient use of land. While the number of units has reduced through revisions to the layout during the course of the application, it is not considered that the density has become uncharacteristically low or to provide an inefficient use of land. Neither is the proposed density considered to be too high, balancing the need for housing with acceptably sized gardens and communal amenity areas, as well as the need for greenspace and landscaping requirements. Officers are still assessing the latest revised layout and while the vast majority of the dwellings comply with the requirements set out in Neighbourhoods for Living, there will be a need for some minor amendments. All dwellings comply with the requirements in terms of garden sizes and the vast majority comply in terms of separation distances, though there are a small number of layout matters where Officers will seek improvements. Additionally, a further collective review is required in relation to highway and design matters.
81. This part of the Whinmoor Fields site is required to provide 1.2 hectares of greenspace in accordance with the open spaces strategy secured through the S106 Agreement on the outline consent. The quantum and locations of the greenspace are provided for on the proposed layout, except for 'Providence Park' (named after the former farmhouse, Providence Farm, that once stood along this stretch of Skeltons Lane), which is now proposed to be split into two parts – one part on the west side of Coal Road, including the retained mature trees and providing a playground (Local Equipped Area of Play (LEAP)), with the remaining part filling the gap between the 'Samuel Smith's' land and the site of the proposed primary school and also incorporating a drainage solution for the site. In response to the comments made by the Flood Risk Management team about the use of underground storage tanks, the

latest revised layout now also includes two attenuation swales to assist with a more positive drainage solution.

82. In addition to the LEAP, the detail layout also provides for two Local Areas of Play (LAPs), which are to provide informal opportunities to play, as raised in the comments from Members at pre-application stage. One LAP is to be located in the south-west corner of the site adjacent to a pedestrian path and overlooked by housing, while the other is to be provided on the northern side of the site adjacent to Coal Road, again adjacent to proposed paths and overlooked by housing.
83. As noted above, the proposals provide a range of dwelling types that accord with the accessible accommodation requirements, in accordance with policy. Negotiations on the layout are continuing to ensure that footpaths and cycleways are logically sited and provide safe and secure routes that tie into desire lines to ensure that the development meets accessibility and inclusion objectives.
84. **Do Members have any comments on the proposed layout of the development?**

Landscaping

85. The reserved matters layout has been prepared following the requirements of the outline consent in terms of the approach to streets and greenspaces, as well as following initial feedback from Officers. Sections 8, 12 and 14 of the NPPF highlight the importance of healthy communities, good design and meeting the challenges of climate change. Policies P10 and P12 of the Core Strategy seek to ensure that new development is of high quality and is appropriate to its context and supplementary guidance in the form of Neighbourhoods for Living (including associated addenda) and the East Leeds Extension (ELE) SPD are also of relevance.
86. In terms of existing natural features, the proposals have sought to retain the existing trees and hedgerow along Red Hall Lane and Skeltons Lane, with some localised removal required in order to provide footway and cycleway connections through, as described above. These appear to have been sited to avoid conflict with any larger trees. Similarly, the hedgerow and the larger mature trees to the west side of Coal Road have been retained, with the exception of where the spine road connects to Coal Road. The hedgerow along the east side of Coal Road (where it meets the developable area of the site) is proposed to be removed in order to facilitate development, primarily roads and access to houses. The hedging to field boundaries within the development site is relatively sparse compared to the hedgerows around the site edges and is also proposed to be removed, where it has not already been removed to facilitate the construction of ELOR. The hedgerow forming the eastern boundary of the application site is all shown to be retained.
87. The proposed spine road has been designed to meet current highway standards for a route capable of carrying buses and incorporates a footway and 3m verge containing trees on the north side, a further 3m verge containing trees on the south side and a segregated footway and cycleway. The remaining lower order streets are proposed to include tree planting within front garden areas, together with hedges and estate railings.
88. In response to the various comments made by Members at pre-application stage, the landscape proposals have evolved to try and address a number of matters. It is proposed that the main entrance to the site from the A58 ELOR junction be framed by a formal avenue of tree planting with hedgerows, with an opportunity for a piece of public art on the north side of the spine road. Elsewhere, native woodland and shrub

buffers, together with native hedgerows, are proposed as a buffer to both ELOR and Wetherby Road. It is noted that the plot landscaping is to be varied to accord with the three different housing character areas.

89. As noted in the layout section of this report, the proposals incorporate a variety of greenspaces, including formal greenspace as a requirement of policy and secured through the outline consent, as well as more informal spaces and incidental landscaping. The proposals for Providence Park include a LEAP and communal hub in a formal layout, with tree lines to provide structure and legibility to the space. A large lawned area is provided for informal play, with a softer native edge to provide wildlife benefits. The proposals for Coal Park include a transitional open space with formal routes across it, emphasised by formal tree lines and a central hub with seating, raised beds with edible planting and a community orchard. An additional pocket park is proposed to the south-east of the site, forming a buffer between the Samuel Smith's land and the proposed primary school, further east. The park is to provide formal access to the development from Skeltons Lane, whilst providing a setting for the adjacent uses and opportunities for informal play.
90. Overall, the landscape proposals are considered to have developed in a positive manner and have taken on board the comments made by Panel Members following the pre-application presentation.

91. **Do Members have any comments in relation to the landscape proposals?**

Appearance and Scale

92. The policy requirements under this heading are similar to those referenced under the layout section in terms of policy P10, Neighbourhoods for Living and the ELE SPD all being key. There is no prevailing traditional building style within the area as the local stock comprises largely of housing from the mid-twentieth century and includes several different house types. In response to this, three character areas are proposed comprising similar house types, grouped into the 'urban edge', 'contemporary' and 'rural edge', as described in more detail in the proposal section of this report. The 'urban edge' refers to the development on the south side of the site, closest to the existing residential areas, whereas the 'contemporary' houses are to be sited along the spine road and the 'rural edge', to the north of the spine road, adjacent to ELOR.
93. The layout includes mainly gabled dwellings that are two storey in height although some have a higher ridge line and dormers to accommodate rooms within the roof space. These taller dwellings still appear proportionate, and the roofs do not look over scaled, nor will they appear to have an unreasonable massing when sited next to the true two storey units. The proposals also include ten small apartment blocks, which are three storeys in height. These are generally located along the spine road in key positions, such as at the entrance to the site or at key nodes / intersections within the layout. While the principle of three storey apartment blocks is considered acceptable, Officers have previously provided detailed comments to aid the design development of the elevations. At the time of writing, the applicant has submitted updated drawings and these are under consideration by Design Officers.
94. The properties are a mix of detached, semi-detached, terraces and apartment blocks, and their footprints are well scaled and set within appropriately scaled plots. Overall, the range of house types is considered to provide unity through the use of gabled roofs and the elevational differences between the different house types proposed also provide for a varied streetscape. The proposed use of brick, render and roof tiles is supported with differentials used in the three separate character areas.

95. In addition to the above considerations, the scale and type of housing proposed has further policy implications that need to be considered, including those relating to house mix, affordable housing, internal space standards, accessible housing, and housing for independent living. These are discussed further below.
96. The submitted details indicate that the application is to propose 1, 2, 3 and 4 bedroom properties. A condition on the outline consent requires reserved matters proposals to demonstrate compliance with Core Strategy policies H4 (housing mix), H5 (Affordable Housing), H9 (minimum space standards) and H10 (accessible housing).
97. For information, in terms of housing mix, the current proposals can be viewed against the preferred housing mix provided in the Core Strategy, as follows:

Type	H4 Max %	H4 Min %	Proposal (units)	Proposal %
Houses	90	50	347	86.26
Flats	50	10	60	14.74
Size	H4 Max %	H4 Min %	Proposal (units)	Proposal %
1 bed	50	0	42	10.32
2 bed	80	30	132	32.43
3 bed	70	20	151	37.10
4 bed+	50	0	82	20.15
Total			407	

98. The above table demonstrates compliance with the target ratio of flats and houses, which is positive. Within the wider housing mix, the different sizes of units are comfortably within the ranges set out under paragraph 5.2.11 of the Core Strategy and so it is considered that the proposals offer an acceptable and appropriate housing mix, which helps to inform the layout.
99. In terms of Policy H5 (Affordable Housing), the development proposals are policy compliant in making 15% Affordable Housing provision on site. The proposed layout indicates 61 Affordable Housing units on site, arranged in 12 clusters, as is often the case and preferable to Affordable Housing providers. While the provision of Affordable Housing is controlled through the outline consent, the locations are clearly germane to the layout. In this instance, the distribution of the clusters of Affordable Housing is such that it spans the geographical extent of the application site and also all three of the different character areas. Therefore, the number and distribution of Affordable Housing units is considered to be acceptable.
100. The S106 Agreement for the outline consent contains an obligation requiring an element of specialist housing for the elderly, to be located within the 'southern parcel' of the Whinmoor Fields site, essentially the part of the site south of Skeltons Lane. This would therefore comply with Policy H8 of the Core Strategy. Nevertheless, some cognisance also needs to be given to the amount of accessible housing delivered pursuant to Policy H10, as set out in paragraph 70.
101. The reserved matters submission confirms that all of the new houses will comply with the space requirements set out in Policy H9 of the Core Strategy. The reserved matters also confirms that the requirements of Policy H10 are met, as confirmed by the Access Officer. Specifically, 123 x M4(2) 'accessible and adaptable dwellings' and 8 x M4(3) 'wheelchair user dwellings' are proposed. While these matters are

controlled through conditions on the outline consent, they do affect the layout in the sense that the size and footprint of the buildings require consideration in their siting, in a similar vein to housing mix.

102. Do Members have any comments about the appearance and elevations of the proposed houses and apartments or the scale and siting of the proposed buildings?

Other matters

103. A number of subject areas associated with bringing forward major housing schemes are not included with reserved matters applications and are to be addressed through the submission of separate condition discharge applications pursuant to the outline permission. These include, but are not limited to, matters such as drainage proposals (interim and permanent), biodiversity, sustainability credentials and detailed landscape proposals.
104. Clearly, some of these matters have implications for the detailed layout and where this is the case, Officers have sought to ensure that future decisions are not compromised in any way. For example, the detailed landscape proposals have not been received as yet, but the greenspaces have been secured as part of the agreed layout and is supported by a masterplan to demonstrate what can be achieved.
105. Members will be aware that the Council has declared a Climate Emergency. Existing planning policies seek to address the issue of climate change by ensuring that development proposals incorporate measures to reduce the impact of non-renewable resources. As above, while sustainability matters are dealt with by condition, it is noted that the reserved matters proposals seek to meet the requirements of planning policies EN1 and EN2 to reduce total predicted carbon dioxide emissions to achieve 20% less than the Building Regulations Target Emission Rate and provide a minimum of 10% of the predicted energy needs of the development from low carbon energy. Notwithstanding the original submission, it is now proposed that the development will be entirely gas-free, with houses heated by Air Source Heat Pumps (ASHPs).
106. The revised set of house-type floor plans and elevations have been designed to meet the necessary requirements on built fabric efficiency and reduced solar gain, following the end of the transition period for the 2021 Part L building regulations. The new house types are designed to provide 31% less carbon emissions over the 2013 building regulations, achieved by a change to fabric/insulation requirements to meet the new Part L and changes to ventilation to meet the new Part F. Further improvements include wastewater heat recovery systems, enhanced loft insulation and more thermally efficient floors and walls. Additionally, all dwellings shall be provided with electric vehicle charging points, in accordance with policy EN8.
107. In addition to conditions, the reserved matters application is also bound by the S106 obligations which, amongst other things, secure various contributions, including affordable housing and payments towards delivering ELOR. For information, the S106 Agreement covers the following matters:
- Affordable Housing – 15% guaranteed (with a 60% submarket and 40% social rent split) to be provided on site.
 - 10.96Ha of public open space on site of the size and locations set out within the Site Wide Retained Open Spaces Strategy (SWROSS), including 4 equipped play areas.
 - Transfer of Skeltons Woods to the Council, with a commuted sum of £126,000.00.

- Provision of land for a country park, together with a financial contribution of £1,402,078 for laying out and maintenance.
- Provision of an area not less than 0.86 hectares for the development of a local centre in the 'southern parcel'. The centre will make provision for retail, health and community facilities.
- Provisions for a scheme of older peoples housing in the 'southern parcel'.
- Education provision – Provision of 2 hectares of land for a 2FE primary school on site, together with a financial contribution of £4,946,146.00.
- Contribution towards the delivery the Northern Quadrant section of ELOR, payable on completions at six monthly intervals. This is now known to cost £31,040,000.00 or £15,520 per unit on the basis of 2,000 dwellings.
- Off-site highways contribution of £856,000.00 for works to the existing Ring Road and other traffic regulation orders.
- Provision of £200,000 to be used for additional local traffic management measures.
- Public transport contribution of £1,200,000 to be spent on extensions to bus services
- Travel Plan, including a Travel Plan monitoring fee of £14,500. The Travel Plan co-ordinator to have an annual Travel Plan budget of £12,000 per year for a period of 16 years.
- Employment and training initiatives.

Representations

108. A number of the concerns expressed within the third-party representations have already been responded to under earlier headings. In part, some of the comments made by Leeds Civic Trust appear to construe the application as being a full planning application, rather than a reserved matters application. As such, matters of infrastructure and timing have already been secured through the S106 Agreement.
109. In respect of the general comments regarding Swifts, Officers are content that adequate provision can be secured through the use of a bird and bat boxes condition. Similarly, the provision of hedgehog 'highways' as part of any agreed boundary treatment package is simple and can be secured by officers as part of the condition discharge process.

CONCLUSION:

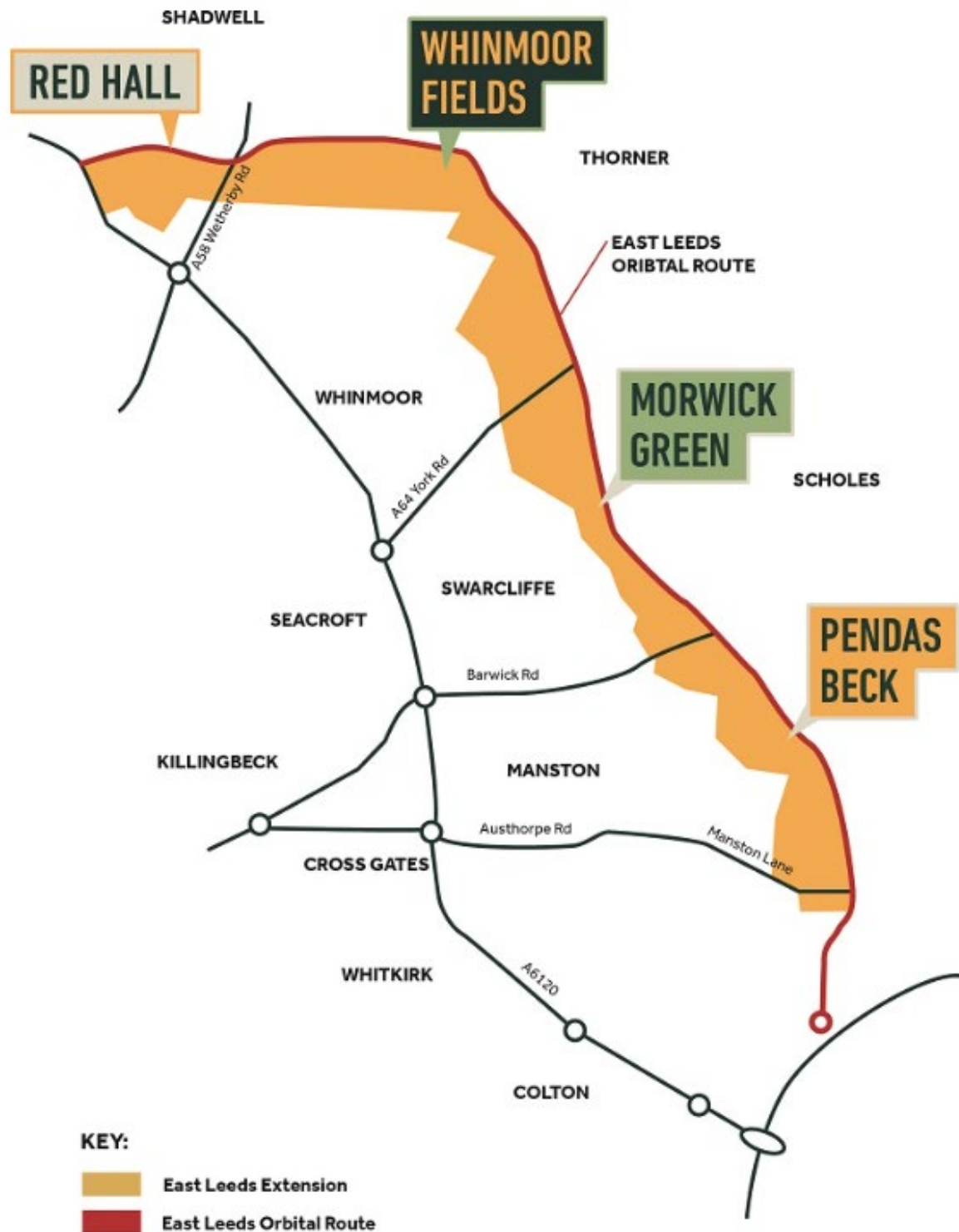
110. Members are asked to note the contents of the report and the presentation. In addition, Members are invited to provide feedback, in particular, in response to the key questions asked in the report above and as follows:
- 1. Do Members have any observations in relation to the detailed means of access and connectivity?**
 - 2. Do Members have any comments on the proposed layout of the development?**
 - 3. Do Members have any comments in relation to the landscape proposals?**
 - 4. Do Members have any comments about the appearance and elevations of the proposed houses and apartments or the scale and siting of the proposed buildings?**

5. Are there any other matters which Members would wish to raise?

BACKGROUND PAPERS:

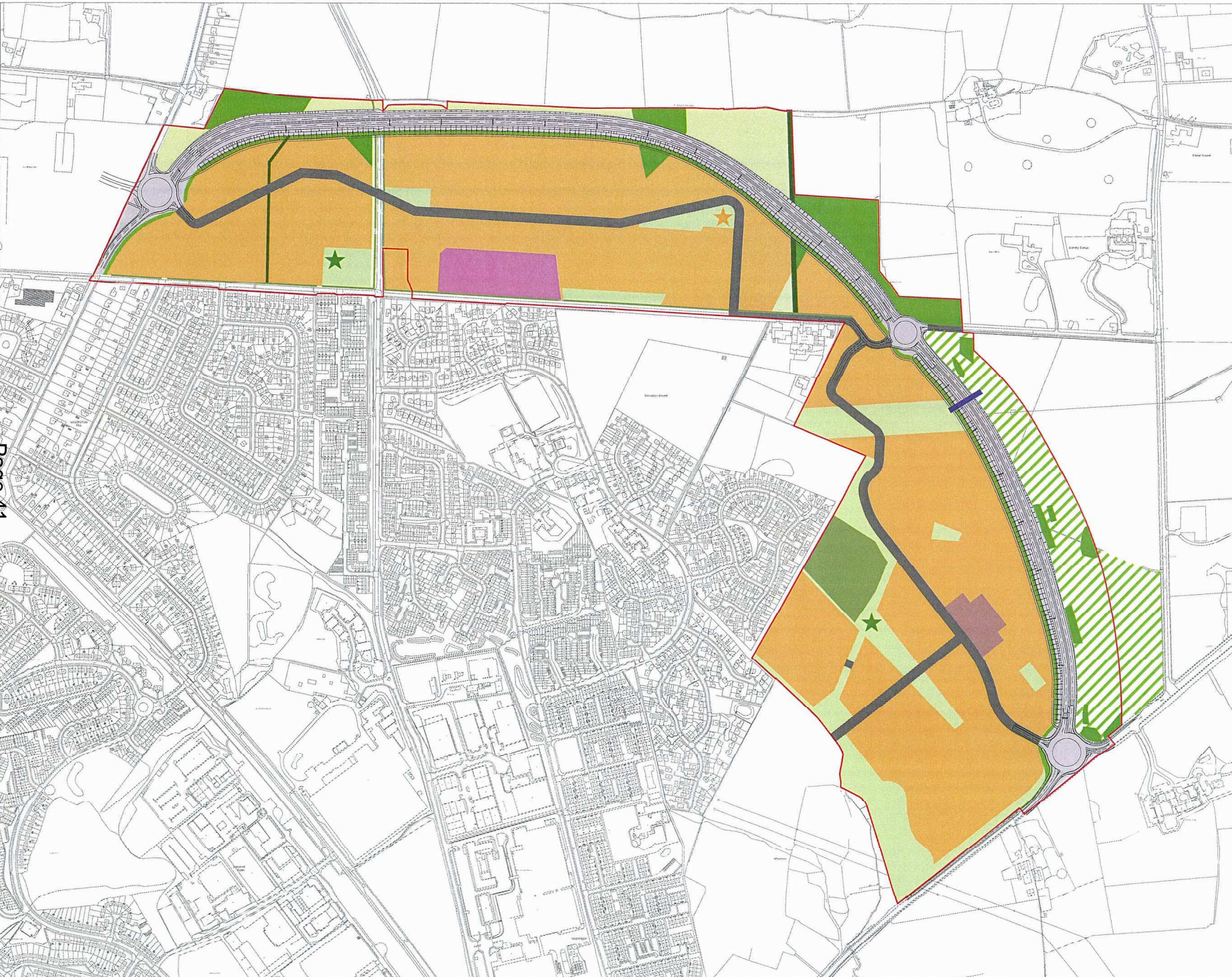
Application file reference: 22/05970/RM

APPENDIX 1 – EAST LEEDS EXTENSION QUADRANTS



APPENDIX 2 - MASTERPLAN

Page 41



The scaling of this drawing cannot be assured

Revision	Date	Dm	Ckd

-  Site Boundary
-  ELOR
-  Main 'Spine Street'
-  Residential
-  Local Centre
-  Primary School
-  Open Space
-  Existing Retained Woodland / Hedgerows
-  Proposed Woodland
-  Proposed Strategic Landscaping Including Attenuation Features
-  Country Park
-  Neighbourhood Equipped Areas of Play
-  Local Equipped Areas of Play
-  Proposed Pedestrian / Cycle Bridge

Project
Land at Whinmoor,
Leeds
Drawing Title
Application Master Plan



Date	Scale	Drawn by	Check by
08.11.13	MTS	M.D.	T.L.
Project No	Drawing No	Revision	
20032	69	H	

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330000 - 20090000 - 20090201 - Land at Whinmoor, Leeds (M4 - Dept & Register) Planning (2013) - 01 - Application Master Plan (Jug)

APPENDIX 3 - PANEL MINUTES

NORTH AND EAST PLANS PANEL

THURSDAY, 30TH JUNE, 2022

PRESENT: Councillor J Akhtar in the Chair

Councillors N Sharpe, M Midgley, A Lamb,
R. Stephenson, H Bithell, D Jenkins and
P Wray

CHAIRS OPENING REMARKS

The Chair welcomed everybody to the meeting and paid thanks to Councillor C Gruen as former Chair of the North and East Plans Panel. The Chair, on behalf of the Panel wished Councillor C Gruen all the best in her new role within the Council.

1 Appeals Against Refusal of Inspection of Documents

There were no appeals against the refusal of inspection of documents.

2 Exempt Information - Possible Exclusion of the Press and Public

There were no exempt items.

3 Late Items

There were no formal late items.

4 Declaration of Interests

No declarations were made at the meeting.

5 Apologies for Absence

Apologies were received from Councillors Anderson and Flint. Councillor Smith attended as a substitute for Councillor Anderson.

6 Minutes - 12 May 22

RESOLVED – That the minutes of the meeting held Thursday, 12th May 2022 be approved as an accurate record.

7 21/04468/FU - on land at Red Hall Lane, Red Hall, Leeds

The report of the Chief Officer updated Panel Members on the current full planning application for the residential development of 360 new build dwellings, conversion of offices to form 2 apartments in the Old Farmhouse, refurbishment and extension of Gate House, conversion of outbuildings to form garages, bin, and cycle store: and associated works, on land at Red Hall Lane, Red Hall, Leeds.

It was noted that an earlier pre-application presentation was made to the City Plans Panel on 8th April 22 and appended to the report included a copy of the minutes from that meeting.

The following responses were summarised in relation to officer questions in the submitted report:

1. *What comments do Members have in respect of the design and layout, particularly in relation to the spine road?* The general feeling from Members is not to encourage a bus route through the site along the spine road. Officers will take this away.

2. *Do Members have any comments to make in respect of conservation matters?* More of a buffer is required to the west of the site of Red Hall listed buildings.

3. *Are there any observations Members would wish to make in respect of housing provision, including regarding the house-flat ratio, no. of bed units, and affordable housing proposed?* Members suggested that housing mix is reconsidered and should include more 3-bed homes.

4. *Do Members have any observations in relation to the landscape proposals?* It was noted that the landscape proposals may change because of members comments in relation to the through road and bus route.

5. *Do Members have any observations in relation to transport and connectivity, particularly in relation to the spine road?* Members requested that connectivity within the site is improved but to also consider wider links to ELOR and the Ring Road outside of the site.

RESOLVED – To note the content of the report on the proposal and to provide views in relation to the questions posed in the submitted report to aid the progression of the application.

8 PREAPP/19/00258 - on land east of Wetherby Road and Coal Road, Whinmoor, Leeds

The report of the Chief Planning Officer informed Members of a pre-application for a reserved matters application relating to the first phase of the Whinmoor Fields “Northern Quadrant”, East Leeds Extension development comprising 423 dwellings with public open space on land east of Wetherby Road and Coal Road, Whinmoor, Leeds.

Members had attended a site visit and were shown slides and photographs throughout the officer presentation.

The Planning Officer and representatives from Permission Homes Ltd presented the application, providing the following information:

- The outline planning consent was submitted prior to ELOR being pursued by the Council.
- There is a proposed two form entry primary school and local centre (including health facilities and retail) to be provided as part of the wider Northern Quadrant development.

- The site is located to the north of the existing main urban area and spans between Wetherby Road (A58) to the west, Red Hall Lane, and Skelton Lane to the south and a field boundary east of Coal Road.
- There is a public transport route wide enough for buses to pass through with setback houses, a segregated cycleway, footway and tree planting.
- A layout of the proposals was provided including a description of bicycle accessibility.
- The proposed character areas of the residential development were described.
- An overview of public open spaces and green infrastructure included in the proposals was provided.
- It was noted that there is 15% provision of Affordable Housing on site with the proposed layout indicating 65 units and providing accessible housing.
- Sustainability measures include high levels of insulation and EV charging points proposed.
- An overview of the public consultation undertaken online and drop-in exhibitions.

In response to questions from Members, the following was confirmed:

- Developer will consider a “gateway feature” at the entrance from the roundabout.
- There is parking to the rear of the apartments, and parking spaces have been set to the side of dwellings to reduce on-street parking. Members also raised concerns about refuse collection.
- In response to concerns relating to pollution and air quality from ELOR, officers noted that this is subject to conditions attached to the outline planning permission and that the applicant is liaising with consultants on this matter.
- The site will be equipped with a local play area that will be fenced, accessible greenspace, cycle ways and footways. Members asked that play equipment is fully inclusive for all children and to consider not fencing in the play area and to be more creative with such considerations.
- ELOR is intended to take the bulk of traffic and the closure of Red Hall Lane will be monitored.
- Members requested that the applicant do more in terms of creative play spaces, as well as working on landscape proposals. It was confirmed that the applicant will consider community spaces / allotments, as well as places for residents / children to sit.
- Measures will be in place in terms of grey water and recycling.
- The first phase of the site will use gas boilers and further clarity is required regarding the future heating of homes on the site.
- The opening of the school is dependent on triggers being reached in the S106 Agreement requiring the transfer of the necessary land to the Council or an Education Body (by 459 dwellings). Separately, the developers are to pay contributions towards the funding of the school.

- Discussed greenspace outside of red line, owned by Samuel Smith's Brewery.

Councillor P Grahame attended the meeting and explained that her main concern, as well as her constituents related to the closure of Red Hall Lane. Residents use this road to access Wetherby and Shadwell. Further concerns were relayed regarding possible 'rat running' issues relating to the proposals.

Panel Members discussed concerns regarding the closure of Red Hall Lane and were keen to identify a way to keep this road open for existing residents. Officers confirmed that whilst there is not a formal mechanism at this moment in time to remove the condition relating to the closure of Red Hall Lane, officers have noted Members comments and will have regard to these when the considering this issue in the future.

Members relayed comments in relation to the officers questions in the submitted report:

1. Do Members support the emerging principles in respect of the design and layout? Comments were made regarding the entrance of the site from ELOR. Members were of the view that the proposed apartment block would not provide an attractive feature. It was considered that the layout should be amended so that dwellings should be sited, to the north and south of the entrance road, so that they look out across the site's access road towards ELOR. There is also an opportunity to include a gateway feature.

2. Are there any observations Members would wish to make in respect of housing provision, including regarding the house-flat ratio, no. of bed units, and affordable housing proposed? It was suggested, as mentioned in response to question 1, that the location of apartments on the entrance be re-considered.

3. Do Members have any observations in relation to the landscape proposals? Issues were raised in relation to the proximity of the northern boundary to ELOR and concerns regarding air pollution and the need for further buffer planting.

4. Do Members have any observations in relation to transport and connectivity? There are concerns regarding on-street parking and further work needs to be done around discouraging on-street parking along the spine road.

5. Are there any other matters which Members would wish to raise? Members highlighted the importance of ensuring open spaces are accessible and to include inclusive play areas for all children. Officers were also encouraged to utilise the woodland for informal recreation purposes. Members also suggested that the proposals include some form of community space, such as allotments or 'grow your own' spaces. Furthermore, officers noted comments regarding the closure of Red Hall Lane and will take this forward in future considerations relating to the proposals.

RESOLVED – To note the content of the report on the proposal and to provide views in relation to the questions posed in the submitted report to aid the progression of the application.

9 21/08380/FU - on land at Railway Street, Saxton Gardens, Leeds, LS9

The report of the Chief Planning Officer set out a Position Statement to Panel Members regarding a development comprising 58 apartments for affordable rent, including communal and ancillary spaces on land at Railway Street, Saxton Gardens, Leeds, LS9.

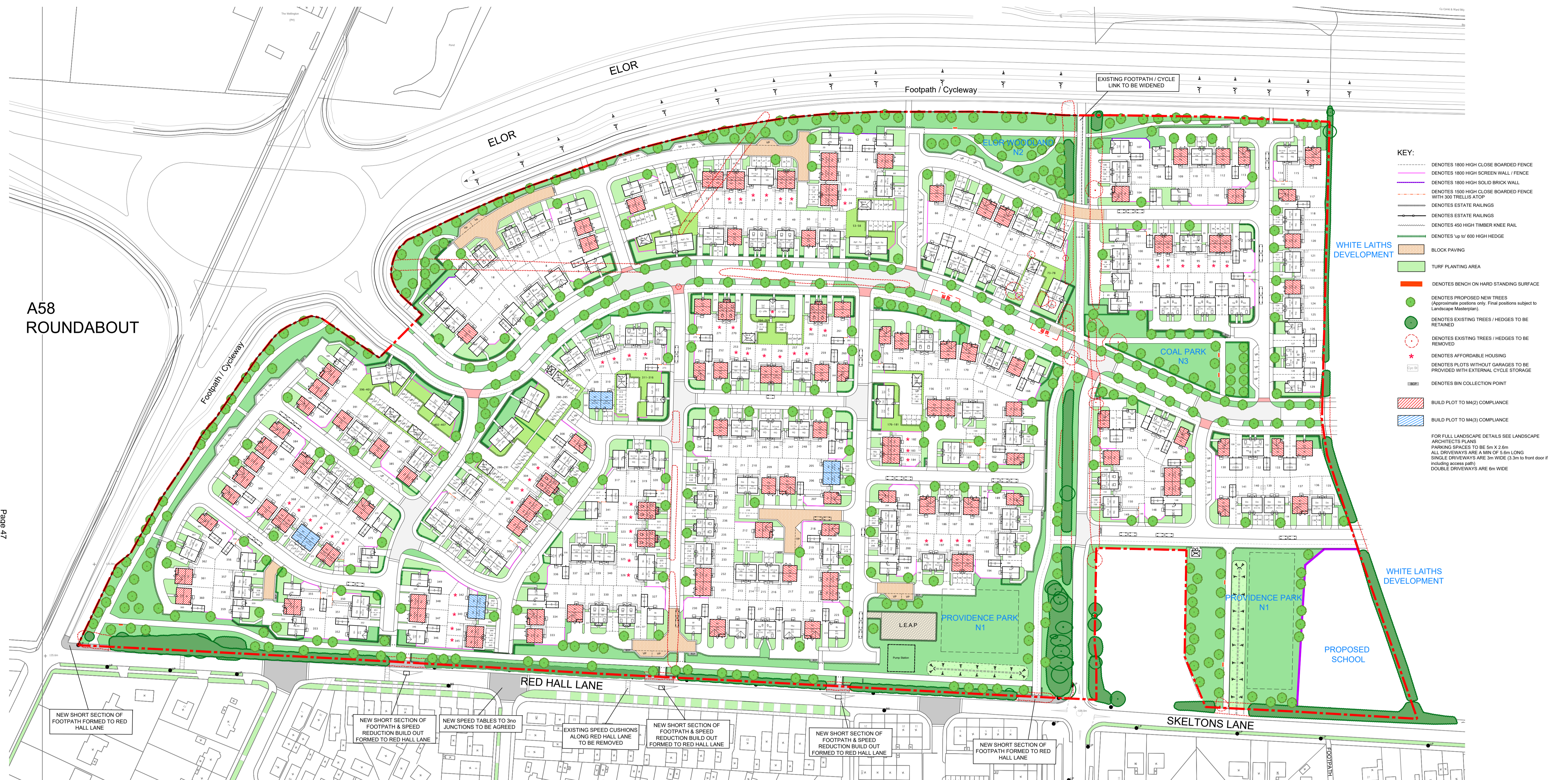
The proposed development includes a five-storey apartment building, parking area, amenity space and landscaping. The building would contain 58 apartments with a split of 28 x 1-bed, 25 x 2-bed and 5 x 3-bed. It was confirmed the scheme is 100% affordable housing with all apartments set at social rent.

Members had attended a site visit and were shown slides and photographs throughout the officer presentation.

The Planning Officer presented the application, providing the following information:

- The site lies to the South of Railway Street, on the site former Yorkshire Riders Sport and Social Club and to the west of the site is an Energy Centre. The railway viaduct lies to the north and the Saxton Gardens estate to the south.
- The area is expected to see significant growth with several recent planning approvals for large high-rise developments including two apartment buildings ranging from 6 to 22 storeys, one residential development ranging from 15 to 20 storeys and five residential buildings ranging from 12 to 22 storeys.
- Members were provided with an overview of the layout of the site and shown photographs of the elevations of the proposals.
- It was confirmed that the proposed housing mix overprovides on flats and underprovides on 3 bed dwellings. Although it was noted that the scheme provides 100% affordable housing.
- There are also issues in terms of designated green space and the area proposed falling below minimum standards of the Core Strategy. Whilst there is a loss of greenspace, the application proposes improvements to the remaining area of green space and a commuted sum of 11k to be spent on local green space improvements in consultation with residents and ward members.
- The private amenity provision is below the recommended quantity set out in the Neighbourhoods for Living Supplementary Planning Document (SPD). The current proposal only achieves 14.2% representing a shortfall of 385m².
- Highways have submitted an objection requesting that further pedestrian safety measures are implemented.
- General concerns remain outstanding regarding traffic.

**A58
ROUNDBABOUT**



- KEY:**
- DENOTES 1800 HIGH CLOSE BOARDED FENCE
 - DENOTES 1800 HIGH SCREEN WALL / FENCE
 - DENOTES 1800 HIGH SOLID BRICK WALL
 - DENOTES 1500 HIGH CLOSE BOARDED FENCE WITH 300 TRELLIS ATOP
 - DENOTES ESTATE RAILINGS
 - DENOTES ESTATE RAILINGS
 - DENOTES 450 HIGH TIMBER KNEE RAIL
 - DENOTES up to 600 HIGH HEDGE
 - BLOCK PAVING
 - TURF PLANTING AREA
 - DENOTES BENCH ON HARD STANDING SURFACE
 - DENOTES PROPOSED NEW TREES (Approximate positions only. Final positions subject to Landscape Masterplan).
 - DENOTES EXISTING TREES / HEDGES TO BE RETAINED
 - DENOTES EXISTING TREES / HEDGES TO BE REMOVED
 - ★ DENOTES AFFORDABLE HOUSING
 - DENOTES PLOTS WITHOUT GARAGES TO BE PROVIDED WITH EXTERNAL CYCLE STORAGE
 - DENOTES BIN COLLECTION POINT
 - BUILD PLOT TO M4(2) COMPLIANCE
 - BUILD PLOT TO M4(3) COMPLIANCE
- FOR FULL LANDSCAPE DETAILS SEE LANDSCAPE ARCHITECT'S PLANS
 PARKING SPACES TO BE 5m X 2.6m
 ALL DRIVEWAYS ARE A MIN OF 5.6m LONG
 SINGLE DRIVEWAYS ARE 3m WIDE (3.2m to front door if including access path)
 DOUBLE DRIVEWAYS ARE 6m WIDE

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NEW SHORT SECTION OF FOOTPATH FORMED TO RED HALL LANE
 NEW SHORT SECTION OF FOOTPATH & SPEED REDUCTION BUILD OUT FORMED TO RED HALL LANE
 NEW SPEED TABLES TO 3m² JUNCTIONS TO BE AGREED
 EXISTING SPEED CUSHIONS ALONG RED HALL LANE TO BE REMOVED
 NEW SHORT SECTION OF FOOTPATH & SPEED REDUCTION BUILD OUT FORMED TO RED HALL LANE
 NEW SHORT SECTION OF FOOTPATH & SPEED REDUCTION BUILD OUT FORMED TO RED HALL LANE
 NEW SHORT SECTION OF FOOTPATH FORMED TO RED HALL LANE

**SCHEDULE OF ACCOMMODATION
(PERSIMMON)**

Housetype	No.	Housetype	No.	Housetype	No.	Housetype	No.
Cranborne 3 Storey 1 Bed Apartment	42	Sherwood 2 Storey 3 Bed Detached House	20	Tamar 2.5 Storey 4 Bed Semi detached / Terraced House	8	Burnham 2 Storey 4 Bed Detached House	22
Tarbert / Fernworthy 18 3 Storey 2 Bed Apartment	18	Barnwood 2 Storey 3 Bed Detached House	22	Ennerdale 2 Storey 4 Bed Semi detached	4	Kennet 2.5 Storey 4 Bed Semi detached	18
Haldon 2 Storey 2 Bed Semi detached / Terraced House	17	Charnwood 2 Storey 3 Bed Detached House	1	Winterfold M4(3) 2 Storey 2 Bed Semi detached / Terraced House	8	Knebworth 2 Storey 4 Bed Detached House	6
Danbury 2 Storey 2 Bed Semi detached / Terraced House	89	Barnwood DT 2 Storey 4 Bed Detached House	6	Braunton 2.5 Storey 3 Bed Semi detached / Terraced House	10	Brampton 2 Storey 4 Bed Detached House	8
						Rendlesham 2 Storey 3 Bed Semi detached / Terraced House	12
						Galloway 2 Storey 3 Bed Semi detached / Terraced House	20
						Kingley 2 Storey 3 Bed Detached House	31
						Saunton 2.5 Storey 3 Bed Semi detached / Terraced House	22
						Kingley Semi 2 Storey 3 Bed Semi detached	12
						Marston 2 Storey 4 Bed Detached House	6
						Greenwood 2.5 Storey 4 Bed Detached House	5
							Total = 407

Rev F - CJB - 12.02.23
 Mix & layout amended inline with planning officer comments and internal discussion

Rev G - CJB - 23.05.23 Layout amended following consultation with engineers regarding drainage and footway / cycle path from Coal Road realigned inline with as built position and Swales added.

Rev H - CJB - 05.07.23 Trees & Hedges updated inline with Landscape Masterplan and Knee Rail added to apartment amenity areas.

Rev E - CJB - 19.10.22 - Plots 1, 47, 48 & 103 boundaries that face ELOR have been amended to 1.8m Brick walls inline with Noise impact assessment.

Rev D - CJB - 02.08.22 - Updated inline with latest landscape masterplan

Rev C - CU - 29.07.22 - Proposed short section of footpath opposite junction of Red Hall Way removed

Rev B - CU - 25.07.22 - M4(2) and M4(3) plots highlighted

Rev A - CU - 22.07.22 - Plots 326 & 327 changed to Galloways, Parking for Apartments 320-325 revised from on-street parking to a private parking court, Red Hall Lane updated to show existing features and proposed enhancements, proposed tree locations updated in line with the latest landscaping plan and bin collection points added

Persimmon
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Proposed Development
 NORTH QUADRANT
 A58/RED HALL LANE
 LEEDS

PROPOSED OVERALL PLANNING LAYOUT

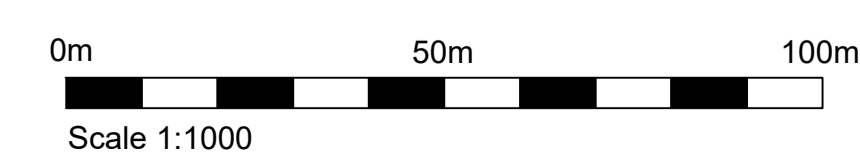
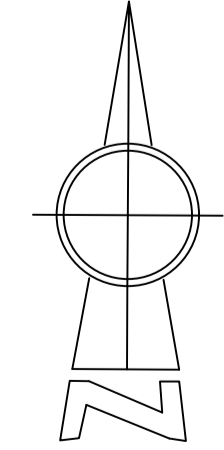
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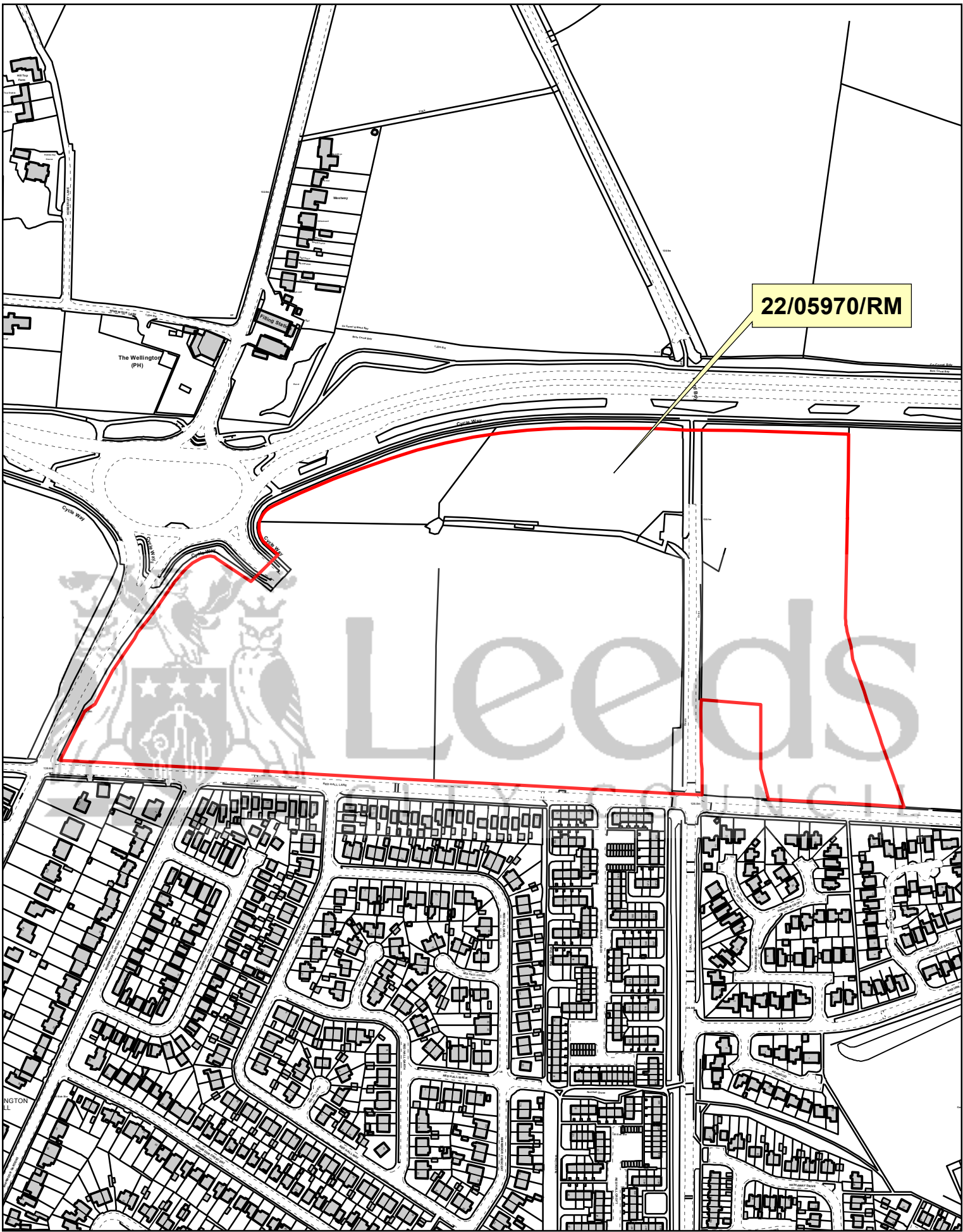
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Drawing Number
 NQD-2022-01
 Rev H

Checked By SAC

MAY 2022





NORTH AND EAST PLANS PANEL





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PLANS PANEL PRESENTATION

SCALE 1:4000

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Originator: Jeffrey Chan

Tel: 0113 378 8709

Report of the Chief Planning Officer

NORTH & EAST PLANS PANEL

Date: 16th November 2023

Subject: 23/05615/FU – Single storey side extension; alterations to the rear including replacement of rear window with patio doors and associated steps; extension of existing patio area to rear with new balustrade, retaining wall and boundary treatment to side; demolition of the existing storage annex and detached garage to rear at 277 Lidgett Lane Gledhow Leeds LS17 6PD

APPLICANT

Ms J Lennox

DATE VALID

14th September 2023

TARGET DATE

20th November 2023

Electoral Wards Affected:

Moortown

No

Ward Members consulted

Specific Implications For:

Equality and Diversity

Community Cohesion

Narrowing the Gap

RECOMMENDATION: GRANT PERMISSION subject to the specified conditions:

1. Time limit on full permission
2. Development to be carried out in line with approved plans
3. Walling and roofing materials of extension to match the existing
4. Privacy screen to be erected prior to the first use of raised patio

INTRODUCTION

1. This application is brought to Plans Panel due to the applicant being an Elected Member (Councillor). The Council's Officer Delegation Scheme (Council (non-executive functions)) sets out that the Chief Planning Officer is not authorised to determine applications under delegated powers where an application has been submitted in a personal capacity by or on behalf of a Member (Exception 1(h)). It is on this basis that the application is brought to Plans Panel for consideration and determination.

PROPOSAL:

2. The application seeks full planning permission to (1) construct a single storey side extension, (2) undertake alterations to the rear of the property including replacing a rear window with patio doors and associated steps, (3) extend an existing patio area to the rear with new balustrade, retaining wall and boundary treatment to the side, and (4) demolish the existing storage annex to rear and a detached rear garage.
3. The proposed single storey side extension will measure 8.47m in length, 2.23m in width, under a pitched roof with an overall height of 3.47m. The extension will be set 0.5m from the main frontage of the dwellinghouse, and 0.8m from the western side boundary facing 279 Lidgett Lane. The construction materials proposed are red brick walls, slate roofing, and white uPVC openings which all match with those in the existing dwellinghouse. The extension will accommodate a shower room, a utility room, and a garden storage room.
4. An obscure glazed window is proposed to the front elevation of the extension, serving the new shower room. On the western side elevation, a window and a new side entrance are proposed to serve the utility room. A roller shutter door is proposed to the rear elevation of the extension, serving the garden storage room. Two roof lights are proposed on the pitched roof of the extension.
5. The alterations to the rear of the property include replacing the rear-facing (centre) opening of the existing bay window to allow for a set of double-leaf patio doors, offering a direct access to the rear patio from the house.
6. A flight of steps is proposed to overcome the level difference between the ground-floor level and rear patio. The steps would measure 1.5m in projection, 2.0m in width, and 0.5m in height. A balustrade is proposed on the outer edge of the steps.
7. The existing rear patio will be extended and is to have a projection of 3.0m (near eastern side boundary sharing with 275 Lidgett Lane), and gradually increase to 5.0m (near western side boundary sharing 279 Lidgett Lane). The patio will measure the same width as the plot, and same height as existing, which is raised 1.07m from the rear garden level.
8. At the end of the raised patio, a retaining wall and balustrade are proposed. A flight of steps is proposed near the western end of the extended patio, linking the patio to the rear garden area. A new timber privacy fence of 1.8m in height is proposed along the eastern edge of the raised patio, which sits close to the eastern side boundary which is shared with 275 Lidgett Lane.
9. The existing storage annex to rear of the dwellinghouse, and the detached garage at the end of driveway to the side, will both be demolished as part of the proposal.

SITE AND SURROUNDINGS

10. The application site comprises a semi-detached dwellinghouse set within a rectangular plot, located at 277 Lidgett Lane. The two-storey dwellinghouse is constructed with red bricks and under a slated gable roof form. This site is located within a residential area where the nearby properties on the southern side of Lidgett Lane are of similar style of semi-detached dwellinghouses.
11. The application site also includes a partially hard-surfaced front yard area, a detached garage to the side and rear which is accessed from a driveway. The rear garden area is approximately 1.0m lower than the main house. It is bordered by timber fencing on

the sides, and mature planting at the rear that provides good screening. The application site shares its eastern and western side boundaries with 275 and 279 Lidgett Lane respectively, while the southern rear boundary is shared with 14 Nunroyd Lawn.

RELEVANT PLANNING HISTORY:

12. There is no planning history for this property.

HISTORY OF NEGOTIATIONS:

13. The proposal has been amended since the original submission in response to concerns raised by officers in respect of privacy impacts on the neighbour at 275 Lidgett Lane and off-site parking provision. The amendments now provide for a privacy screen along the boundary with the neighbouring site and a hardstanding area to the front capable of accommodating two off-street car parking spaces.

CONSULTATION RESPONSES:

14. None.

PUBLIC/LOCAL RESPONSE:

15. The application was publicised by means of Neighbour Notification Letters (NNL) that were posted 21st September 2023. The publicity period expired on 14th October 2023. No responses have been received.

PLANNING POLICIES:

The Development Plan

16. As required by Section 38(6) of the Planning and Compulsory Purchase Act 2004 this application has to be determined in accordance with the Development Plan unless material considerations indicate otherwise. For the purposes of decision-making in relation to this application, the Development Plan for Leeds currently comprises the adopted Core Strategy (2019), those policies saved from the Leeds Unitary Development Plan (Review 2006), the Site Allocations Plan (2019), the Natural Resources and Waste Local Plan (2013 and 2015) and any made Neighbourhood Plan, if applicable.
17. The Core Strategy sets out strategic level policies and vision to guide the delivery of development investment decisions and the overall future of the district. The following policies from the Core Strategy are considered to be of most relevance to this development proposal:

General Policy – Sustainable Development and the NPPF

P10 – Design

P12 – Landscapes and townscapes

T2 – Accessibility requirements and new development

18. The following saved policies from the Unitary Development Plan are considered to be of most relevance to this development proposal:

GP5 – Development proposal should resolve detailed planning considerations

BD6 – Alterations and extensions

LD1 – Landscaping
N25 – Site boundaries

Relevant Local Supplementary Planning Guidance/Documents

19. The most relevant local supplementary planning guidance (SPG), supplementary planning documents (SPD) are outlined below:
20. Householder Design Guide SPD (April 2012). The following policies are relevant:
 - Policy HDG1 – Extension should respect the scale, form, proportions, character and appearance of the dwelling.
 - Policy HDG2 – Extensions should not harm residential amenity.
21. Moortown Neighbourhood Design Statement SPD (2016)
 - Area 4: Nunroyds, Stainburns and Allerton Granges
22. Transport SPD (February 2023). Sets out parking requirements for residential development.

National Planning Policy Framework

23. The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions.
24. Planning law requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise (section 38(6) Planning and Compulsory Purchase Act 2004). The National Planning Policy Framework is an important material consideration in planning decisions.
25. The following sections of the NPPF are most relevant for the purposes of determining this application:

Paragraph 11: Presumption in favour of sustainable development.

Paragraph 92: Planning decisions should aim to achieve healthy, inclusive and safe places.

Paragraph 130: Need for good design which is sympathetic to local character and history.

Paragraph 134: Planning permission should be refused for poor design.

Paragraph 174: Planning decisions should contribute to and enhance the natural and local environment.

National Planning Practice Guidance

26. The Planning Practice Guidance (PPG) provides commentary on the application of policies within the NPPF. The PPG also provides guidance in relation to the imposition of planning conditions. It sets out that conditions should only be imposed where they are necessary; relevant to planning and to the development to be permitted; enforceable; precise and reasonable in all other respects.

CLIMATE EMERGENCY:

27. The Council declared a climate emergency on the 27th March 2019 in response to the UN's report on Climate Change.
28. The Planning Act 2008, alongside the Climate Change Act 2008, sets out that climate mitigation and adaptation are central principles of plan-making. The NPPF makes clear that the planning system should help to shape places in ways that contribute to radical reductions in greenhouse gas emissions in line with the objectives of the Climate Change Act 2008.
29. As part of the Council's Best City Ambition, the Council seeks to deliver a low-carbon and affordable transport network, as well as protecting nature and enhancing habitats for wildlife. The Council's Development Plan includes a number of planning policies which seek to meet this aim, as does the NPPF. These are material planning considerations in determining planning applications.
30. The proposal put forward for consideration does not trigger any of the relevant climate change policies included within the Core Strategy.

PUBLIC SECTOR EQUALITY DUTY:

31. The Equality Act 2010 requires local authorities to comply with the Public Sector Equality Duty. Taking into account all known factors and considerations, the requirement to consider, and have due regard to, the needs of diverse groups to eliminate discrimination, advance equality of opportunity and access, and foster good relations between different groups in the community has been fully taken into account in the consideration of the planning application to date and at the time of making the recommendation in this report.
32. In this instance it is considered that the proposals do not raise any specific implications in these respects and therefore it is not considered that a full Equality, Diversity, Cohesion and Integration Impact Assessment (EDCI) is required.

MAIN ISSUES:

33. The following main issues have been identified:
 1. Design and Character
 2. Residential Amenity
 3. Parking and Highway Safety

APPRAISAL:

1. Design and Character

34. Core Strategy policy P10 outlines a number of key principles which fall under the wider objective of ensuring new development delivers high quality inclusive design. Core Strategy policy P12 seeks to conserve and enhance the character and quality of Leeds' townscapes and landscapes. Saved Unitary Development Plan (UDP) policies GP5 and BD6 are also relevant, in that they seek to protect amenity and highway safety and to encourage good design. The Council's Householder Design Guide includes several policies and detailed guidance for domestic extensions which are relevant to the proposal, serving to reiterate and reinforce the over-arching aims of the aforementioned Core Strategy and Saved UDP policies.

35. The proposed single storey side extension represents a modest addition with its width being less than two thirds of the width of the existing dwelling. This ensures the extension would represent a proportionate and subservient addition to the property and complies with guidance contained within the Householder Design Guide in relevant respects. The extension would sit comfortably between the gap of the semi-detached pairs and retain a gap to the side boundary with a minor set-back from the main frontage, whilst being of a sympathetic design and form. The extension is designed with red brick walls, slate roofing and white uPVC windows which would match the existing materials of the dwelling. It is proposed that the use of these materials, to match the existing, is secured by way of a condition. The above factors ensure the extension will be an acceptable addition to the main house in design and character terms.
36. The alteration to the rear bay window includes the replacement of rear-facing (central) opening to create a set of doors. Together with the associated steps beyond the patio door, this would lead to a change to the character of the bay window feature. However, the bay window is located to the rear and will not be visible from the public views. As such this element of the proposal is appropriate as an alteration to the house and will not lead to harm to local character within this context.
37. The extended raised patio, including the steps down to rear garden, balustrade and new side boundary treatment would not raise any design and character concerns. Large patios with such additions are a common feature of rear gardens and this would be appropriate here as a result. The existing rear garden area would retain sufficient soft landscaped areas and the proposal would not impact on any trees located in or around the rear garden area. The proposed privacy screen shall be constructed with timber which is considered as an appropriate material for its purpose and location.
38. The demolition of the existing storage annex and detached garage to rear would not raise any design and character concerns.
39. As such, it is considered that the proposal represents an acceptable form of development of appropriate design which will respect the character of the existing property and wider street scene. The proposal will meet the wider aims of Core Strategy policies P10 and P12, saved UDP policies GP5 and BD6, policy HDG1 of the Householder Design Guide SPD, and the guidance contained within the NPPF in these respects.

2. Residential Amenity

40. The proposed single storey side extension would predominantly sit between the house of the application site and the existing single storey side and rear extension of 279 Lidgett Lane to the west which includes no side facing windows. The proposed extension would project beyond the front wall of the neighbouring extension adjacent to a side facing window of the neighbouring property and more immediately its driveway. However, the single storey nature of the extension (alongside the gap retained at the side boundary) would be sufficient to prevent any unreasonable overshadowing impacts/loss of light or overdominance impacts/ loss of outlook from the neighbouring site. The extension would have no adverse amenity impacts in relation to the neighbouring site at No. 275 to the east as a result of its positioning away from the neighbouring site.
41. The proposed extension would include a side facing window and door on the western side elevation, but these would not lead to any overlooking towards the neighbouring site at No. 279, as these would look out on to the blank wall of the neighbour's side

and rear extension rather than affording views into any neighbouring windows or garden areas.

42. The alteration to the rear bay window would not lead to any significant amenity impact on the neighbouring properties to the rear or sides when compared to the existing situation. The associated steps to the rear are modest in nature and would not lead to any unreasonable overlooking towards the neighbouring site at No. 275 on the east, nor any other neighbouring sites.
43. The extended patio would sit close to both side boundaries. The proposal has been amended to include a proposed fence to act as a privacy screen of 1.8m in height along the eastern edge of the patio. This is to mitigate any potential overlooking towards No. 275 given the proximity of main rear facing windows and the rear garden area of the property. Whilst the installation of a privacy screen on top of a raised patio area can often lead to concerns in terms of its own impacts on neighbouring amenity, whether through overshadowing or a loss of outlook due to the overall height above neighbouring ground levels, the proposed screen (even at its highest point) would not lead to unreasonable impacts in this instance. This is as a result of the existing internal floor levels of the neighbouring property and the presence of a raised patio at the neighbouring site. The installation of privacy screen would be secured by way of planning condition to ensure its retention in future. The extended patio would include only a modest projection beyond the rear elevation of the side and rear extension of No. 279 to the west with the existing boundary consisting of a 2.0m high timber fence. It is not considered that a further privacy screen is necessary to be located alongside this boundary as a result.
44. There are no other neighbours impacted by the proposals in amenity terms. As previously noted, it is also the case that no comments have been received from neighbours as part of the consultation undertaken with regard to this application.
45. The proposal is therefore in keeping with the wider aims of Core Strategy policy P10, saved UDP policy GP5, and policy HDG2 of the Householder Design Guide.

3. Parking and Highway Safety

46. Core Strategy policy T2 and the policies and guidance contained within the Householder Design Guide SPD and Transport SPD aims to ensure two car parking spaces are retained at residential properties, where they exist at present, in order to prevent a significant increase in on-street car parking on residential streets which can lead to wider parking congestion, amenity, and highway safety concerns.
47. The proposal includes demolition of the existing detached garage, and the proposed extension will be positioned over part of the existing driveway to the side of the house. This will lead to loss of some of the existing off-street parking provision. However, the existing hard-surfaced area in the front garden of the application site is currently capable of offering two off-street car parking spaces which meet the relevant guidance. Such provision is considered appropriate to serve the end development.
48. The proposal includes a garden store which is located within the rear portion of the proposed side extension. The proposed storage area would provide sufficient space to store bicycles (alongside other garden equipment etc) and replace any such provision otherwise lost through the demolition of detached garage such that an acceptable level of secure cycle storage provision would be retained.

49. As such the proposal is considered to be in-keeping with the wider aims of Core Strategy policy T2, the guidance contained within the Householder Design Guide, the Transport SPD and the NPPF in these respects.

CONCLUSION:

50. As required by Section 38(6) of the Planning and Compulsory Purchase Act 2004 this application has to be determined in accordance with the Development Plan unless material considerations indicate otherwise. The proposal has been assessed against the adopted Development Plan and considered against all relevant material considerations.
51. The proposal will provide for additional and improved living and garden spaces for the benefit of the occupiers of the property.
52. The proposal is acceptable in design and character terms, would not lead to any unreasonable amenity impacts for occupiers of neighbouring properties and will be served by sufficient car parking provision so as to prevent any harmful impacts in relevant respects.
53. The proposal is considered to be in-keeping with the relevant policies from the Development Plan and there are no material planning considerations which would weigh against the proposals. The proposal can therefore be considered acceptable in planning terms.
54. In conclusion, taking the above into account, the application is recommended for approval of planning permission subject to the conditions as set out at the beginning of this report.

BACKGROUND PAPERS:

Application file reference: 23/05615/FU

Certificate of ownership: Certificate A signed by the Agent Mr. Chris Aitchison

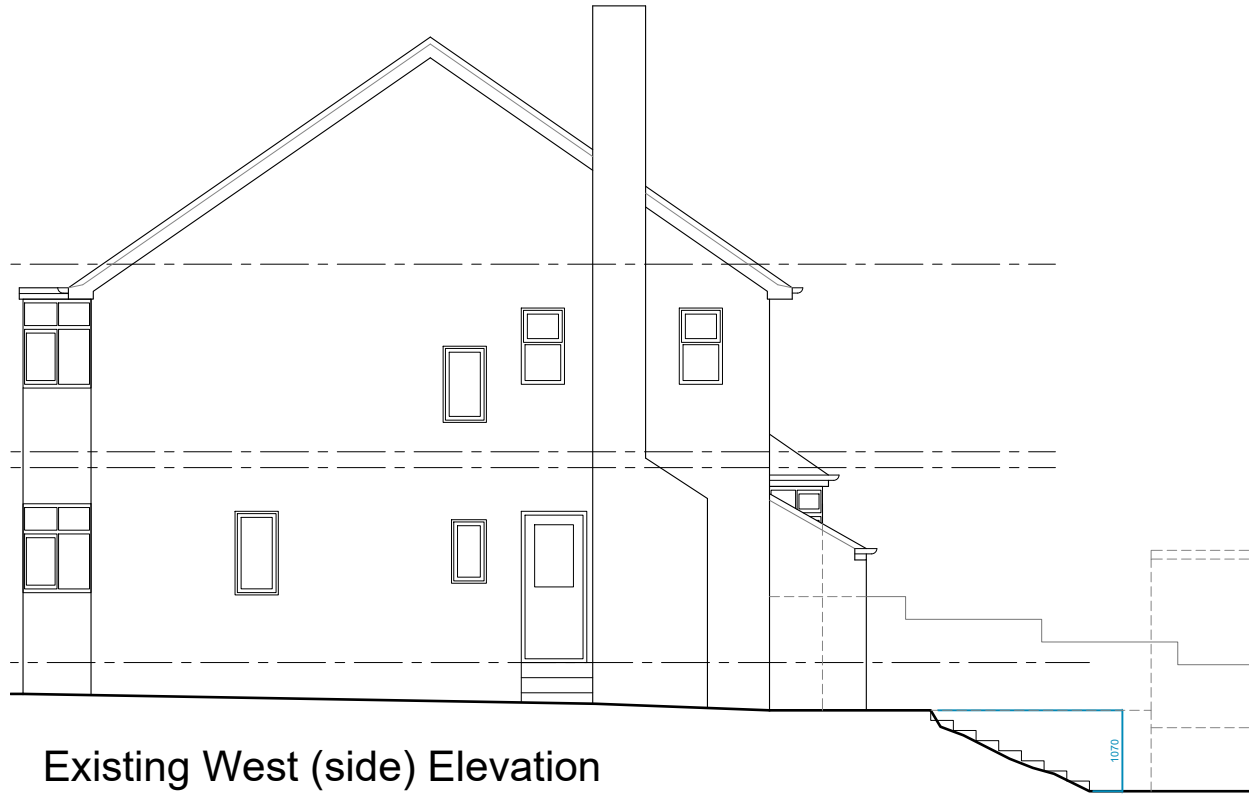
Contractor must verify all dimensions on site before commencing any work or shop drawings.
 If this drawing exceeds the quantities taken in any way the Architects are to be informed before the work is initiated.
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Existing North (front) Elevation

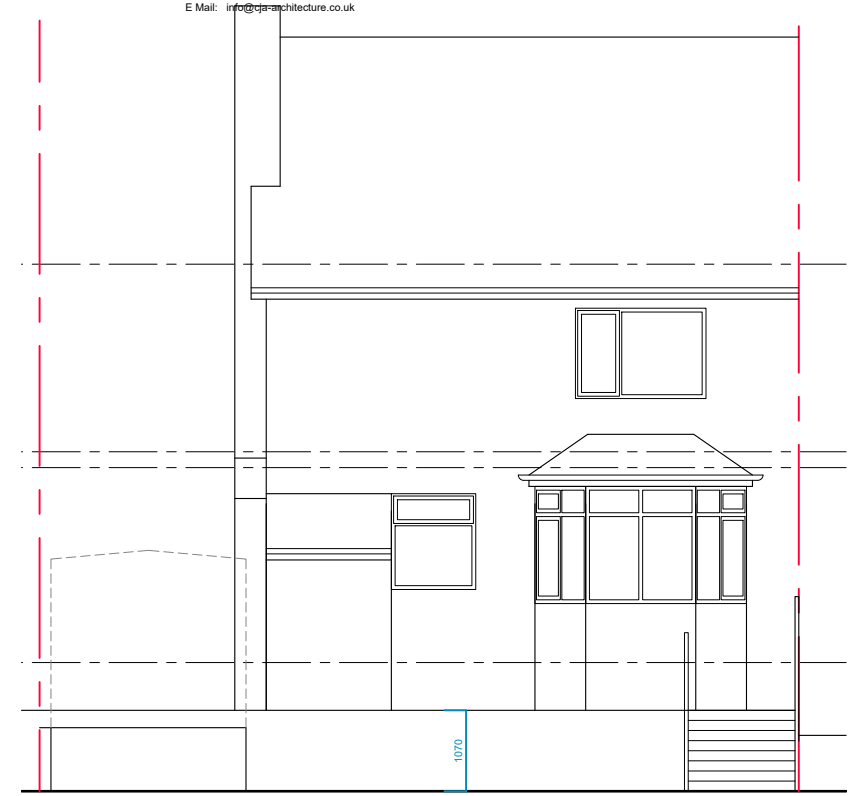
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Page 59



Existing West (side) Elevation

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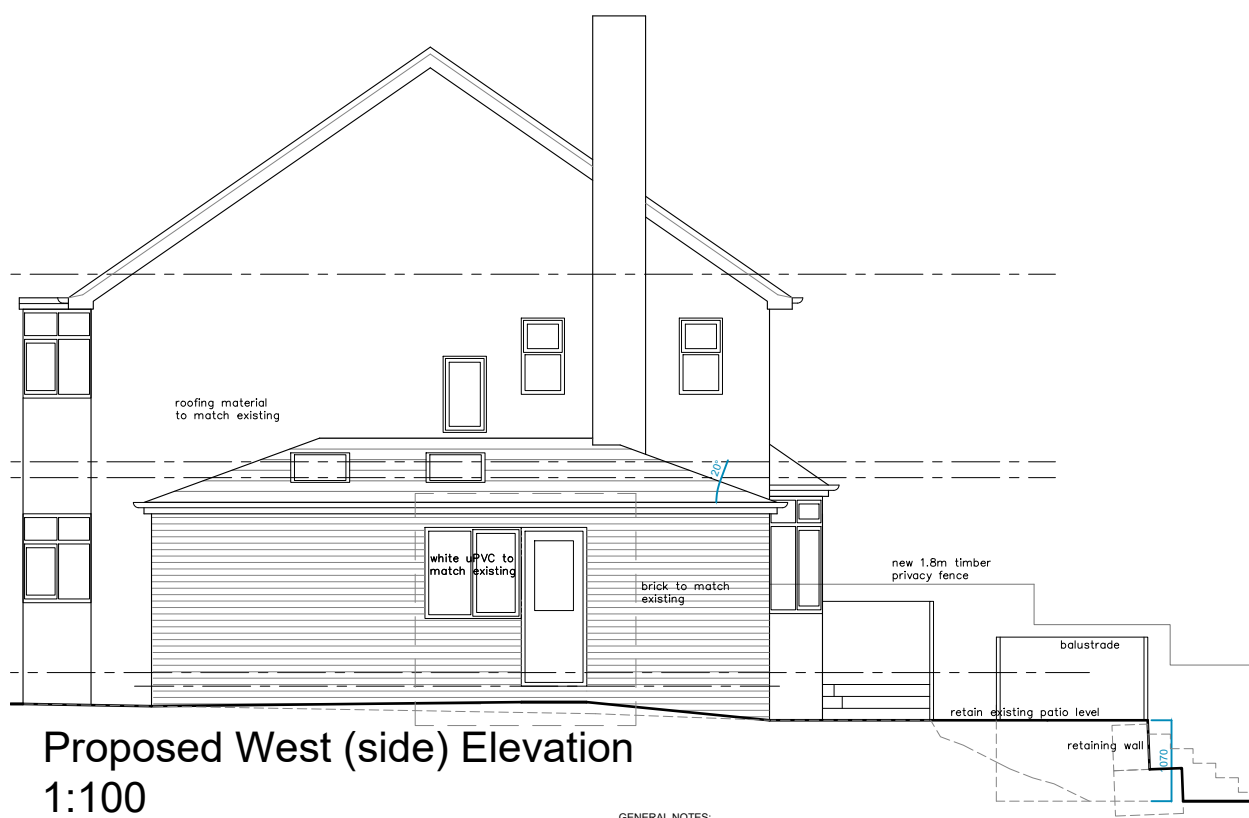
Existing South Elevation

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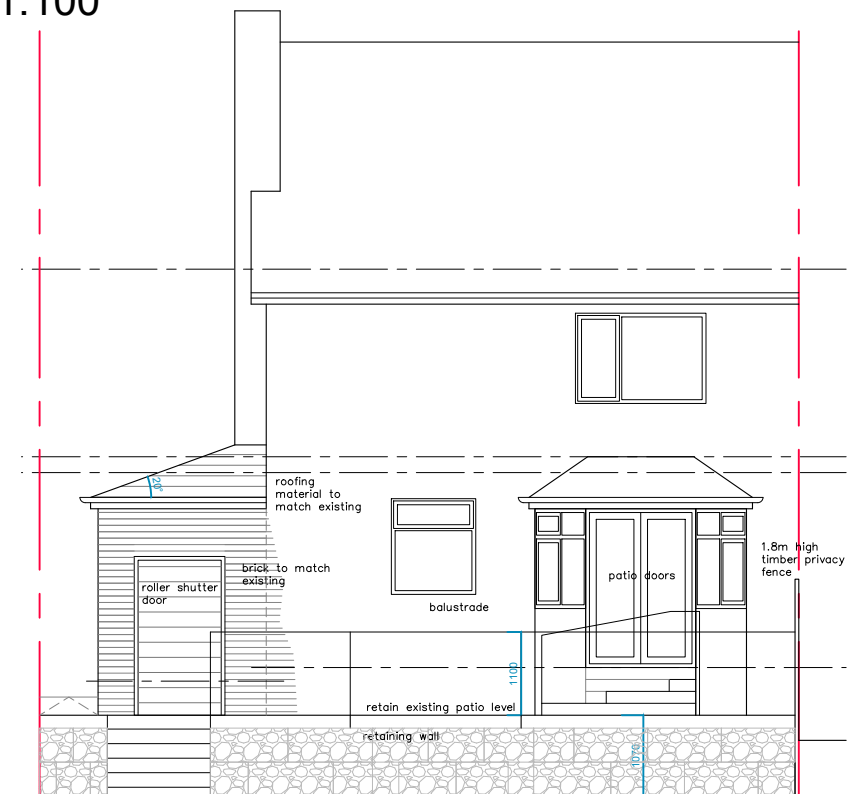
Proposed North (front) Elevation

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Proposed West (side) Elevation

1:100



Proposed South Elevation

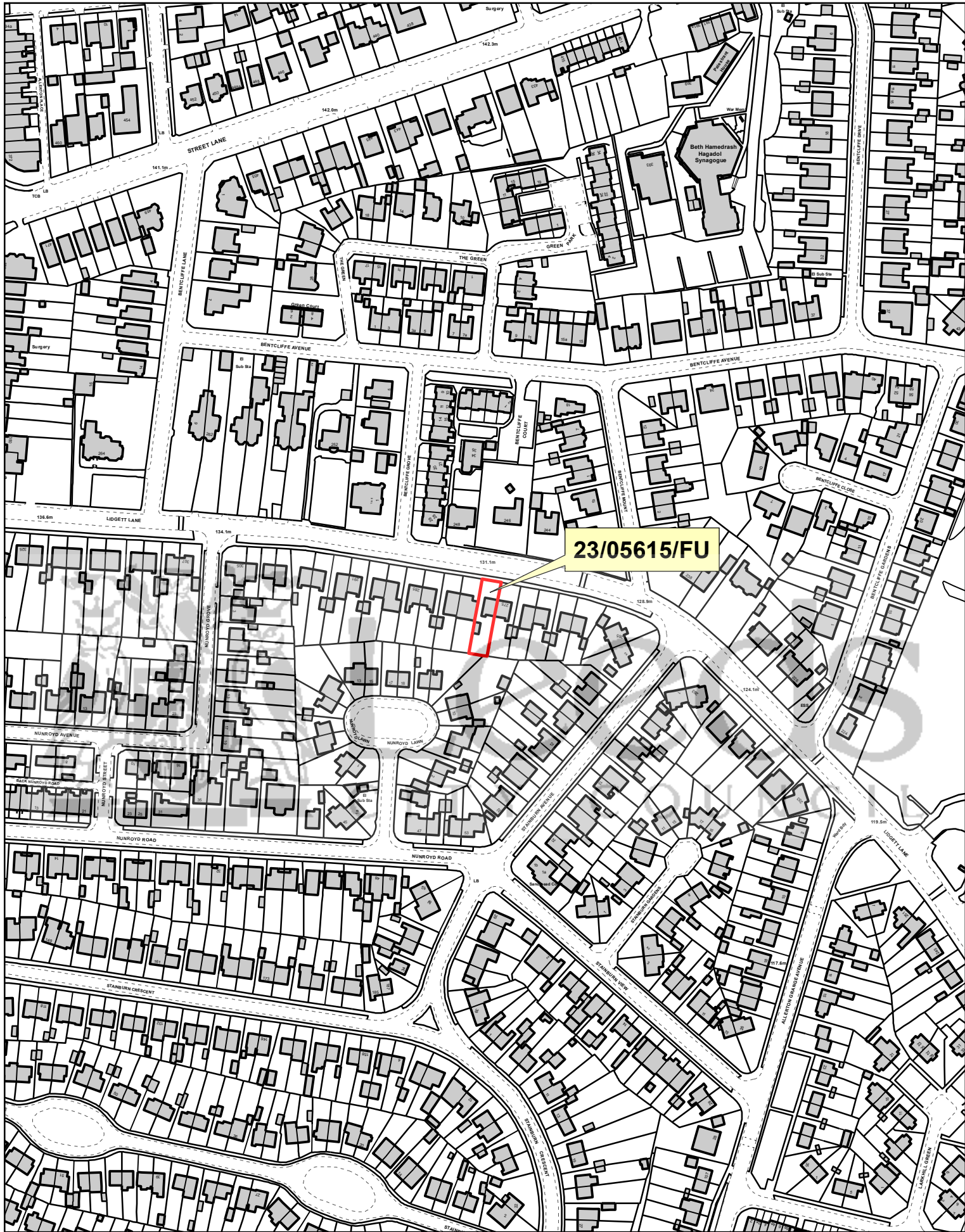
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CJA ARCHITECTURE & DESIGN
 architecture

Client Jess Lennox	Project Name single storey side extension					
Site address 277 Lidgett Lane, Leeds, LS17 6PD	Title Existing and proposed elevations					
Our Drawing Reference 23013 (PL) 004	Revision F	Size A3	Scale 1:100	Date Oct 2023	Drawn By OB	Checked By CJA

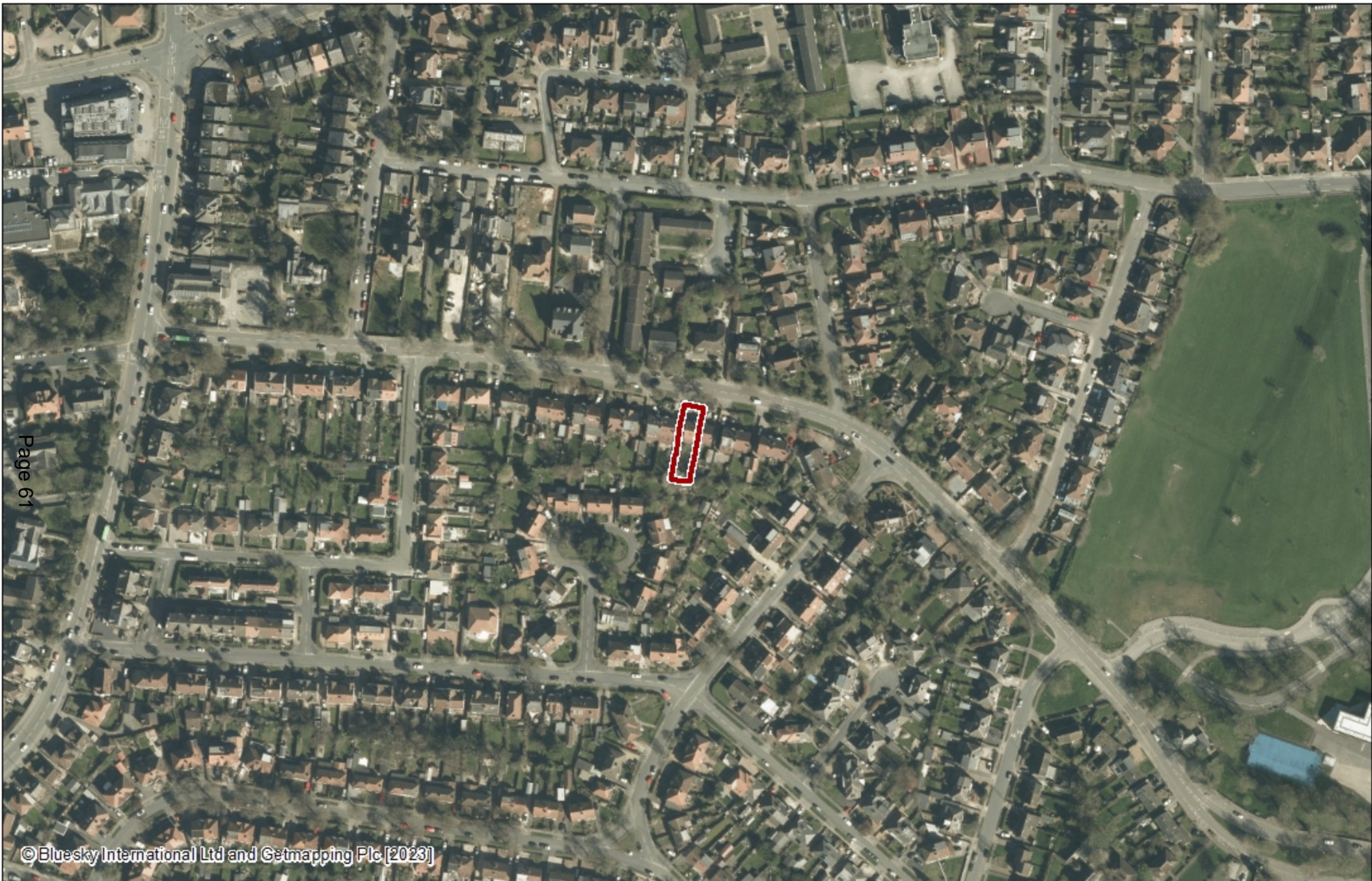
GENERAL NOTES:
 STRUCTURAL ALTERATIONS SUBJECT TO STRUCTURAL ENGINEERS COMMENTS AND DESIGN. CALCULATIONS SHALL BE OBTAINED BY THE APPOINTED BUILDING CONTRACTOR AND SUBMITTED FOR APPROVAL BEFORE WORKS COMMENCE ON SITE.
 ALL WORKS TO BE CARRIED OUT TO THE LATEST BUILDING REGULATIONS, BRITISH STANDARDS AND APPROVED CODES OF PRACTICE
 WHERE FURTHER CLARIFICATIONS, AMENDMENTS OR ADDITIONAL WORKS ARE REQUIRED CONTRACTORS SHALL REFER TO THE CLIENTS FOR FURTHER DETAILS AND INSTRUCTIONS.
 ALL MATERIALS AND DETAILS TO BE PROVIDED BY THE CONTRACTOR FOR CLIENT APPROVAL.

Existing and Proposed Elevations



NORTH AND EAST PLANS PANEL





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PLANS PANEL PRESENTATION

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Originator: Sam Koper

Tel: 0113 378 6013

Report of the Chief Planning Officer

NORTH & EAST PLANS PANEL

Date: 16th November 2023

Subject: 23/05807/FU – Part two storey, part single storey side and rear extension at 36 Parkland Crescent, Meanwood, Leeds, LS6 4PR

APPLICANT

Ms J Ashton

DATE VALID

27th September 2023

TARGET DATE

22nd November 2023

Electoral Wards Affected:

Moortown

No

Ward Members consulted

Specific Implications For:

Equality and Diversity

Community Cohesion

Narrowing the Gap

RECOMMENDATION: GRANT PERMISSION subject to the specified conditions:

1. Time limit on full permission
2. Development to be carried out in accordance with approved plans
3. Walling and roofing materials of extension to match the existing
4. No insertion of additional windows at first floor level to north west side

INTRODUCTION:

1. This application is for the erection of a part two storey, part single storey side and rear extension. This application is brought to Plans Panel due to the applicant being employed within the Development Management Team at Leeds City Council. The Council's Officer Delegation Scheme (Council (non-executive functions) sets out that the Chief Planning Officer is not authorised to determine applications under delegated powers where an application has been submitted in a personal capacity by, or on behalf, of any officer who carries out development management functions (Exception 1(h)). It is on this basis that the application is brought to Plans Panel for consideration and determination. The application is recommended for approval subject to the conditions outlined above.

PROPOSAL:

2. This application is for the erection of a part two storey, part single storey side and rear extension.
3. The proposed extension would wrap around the side and rear elevations of the property and would project 1.37 metres from the side elevation and 3.2 metres from the rear elevation. The total depth of the side extension would be 5.35 metres and the width of the rear extension would be 8.6 metres at ground floor level and 6 metres at first floor level. The side extension would be set back from the principal elevation by 4.47 metres.
4. The two-storey element of the extension would have a dual pitched roof form with a gable end to the rear and one roof light window to the side. It would have a matching eaves height to the main roof and the ridge level would be set slightly below the main ridge line. The ground floor rear element would have a flat roof with a roof lantern on top.
5. The extension would include the insertion of bifold doors and a new window to the rear at ground floor level, as well as one window at ground floor level to the north west side. It would also include two new windows at first floor level to the rear. The extension would be finished with painted cement render and double roman interlocking tiles which would both match the existing house.

SITE AND SURROUNDINGS

6. No. 36 Parkland Crescent is a semi-detached, two storey dwelling with a hipped, tiled roof. The house is constructed from off-white render with a gable feature at the front with a catslide roof. The property is accessed from the north eastern section of the crescent, along an open paved driveway, which leads to a detached outbuilding at the rear. To the front and rear there are grassed gardens that are bounded by a mix of fencing and mature vegetation.
7. The surrounding properties are similar in scale and design, with many having been extended to the rear. The character of the immediate area is spacious and verdant with the middle of the crescent having mature trees and the gaps in between houses prevalent.

RELEVANT PLANNING HISTORY:

Planning applications:

8. There is no relevant planning history for the application site, however, a recent application made on the adjoining neighbouring property, 34 Parkland Crescent, is considered to be of relevance to this case:

23/04052/FU - Part two storey, part single storey rear extension, new first floor side window, extended patio area and demolition of garage to rear – Approved 2023. This application granted planning permission for a similar proposal to that now before the Panel at the adjoining property.

Pre-application enquiries:

9. None.

Planning Enforcement cases:

10. None.

CONSULTATION RESPONSES:

Statutory Consultees:

11. None.

Non-Statutory Consultees:

12. None.

PUBLIC/LOCAL RESPONSE:

13. The application was publicised by means of Neighbour Notification Letters that were posted on 27th September 2023. The publicity period expired on 20th October 2023. No responses were received.

PLANNING POLICIES:

The Development Plan

14. As required by Section 38(6) of the Planning and Compulsory Purchase Act 2004 this application has to be determined in accordance with the Development Plan unless material considerations indicate otherwise. For the purposes of decision making in relation to this application, the Development Plan currently comprises the adopted Local Development Framework Core Strategy (2019), those policies saved from the Leeds Unitary Development Plan (Review 2006), the Site Allocations Plan (2019), and the Natural Resources and Waste Development Plan Document (2013 and 2015).
15. The following policies from the Core Strategy are considered to be of most relevance to this development proposal:

General Policy – Sustainable Development and the NPPF

P10 – Design

P12 – Landscapes

T2 – Highway safety

16. The following saved policies from the Unitary Development Plan are considered to be of most relevance to this development proposal:

GP5 - Seeks to ensure that development proposals resolve detailed planning considerations, including amenity.

BD6 - All alterations and extensions should respect the scale, form, detailing and materials of the original building.

17. There are no policies from the Site Allocations Plan which are considered to be of relevance to this development proposal.
18. The following policies from the Natural Resources and Waste Local DPD are considered to be of most relevance to this development proposal:

General Policy 1

Relevant Local Supplementary Planning Guidance/Documents

19. The most relevant local supplementary planning guidance (SPG), supplementary planning documents (SPD) are outlined below:

Householder Design Guide SPD (April 2012), which includes:

- Policy HDG1 – Extensions should respect the scale, form, proportions, character and appearance of the dwelling
- Policy HDG2 – Extensions should not harm residential amenity

Transport SPD (February 2023)

National Planning Policy Framework

20. The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions.
21. Planning law requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise (section 38(6) Planning and Compulsory Purchase Act 2004). The NPPF is an important material consideration in planning decisions.
22. The following sections of the NPPF are most relevant for the purposes of determining this application:
- Paragraph 11 Presumption in favour of sustainable development
 - Paragraph 130 Need for good design which is sympathetic to local character and history
 - Paragraph 134 Planning permission should be refused for poor design

National Planning Practice Guidance

23. The Planning Practice Guidance (PPG) provides commentary on the application of policies within the NPPF. The PPG also provides guidance in relation to the imposition of planning conditions. It sets out that conditions should only be imposed where they are necessary; relevant to planning and to the development to be permitted; enforceable; precise and reasonable in all other respects.

CLIMATE EMERGENCY:

24. The Council declared a climate emergency on the 27th March 2019 in response to the UN's report on Climate Change.
25. The Planning Act 2008, alongside the Climate Change Act 2008, sets out that climate mitigation and adaptation are central principles of plan-making. The NPPF makes clear that the planning system should help to shape places in ways that contribute to radical reductions in greenhouse gas emissions in line with the objectives of the Climate Change Act 2008.
26. As part of the Council's Best City Ambition, the Council seeks to deliver a low-carbon and affordable transport network, as well as protecting nature and enhancing habitats for wildlife. The Council's Development Plan includes a number of planning policies

which seek to meet this aim, as does the NPPF. These are material planning considerations in determining planning applications.

27. The proposal put forward for consideration does not trigger any of the relevant climate change policies included within the Core Strategy.

PUBLIC SECTOR EQUALITY DUTY:

28. The Equality Act 2010 requires local authorities to comply with the Public Sector Equality Duty. Taking into account all known factors and considerations, the requirement to consider, and have due regard to, the needs of diverse groups to eliminate discrimination, advance equality of opportunity and access, and foster good relations between different groups in the community has been fully taken into account in the consideration of the planning application to date and at the time of making the recommendation in this report.
29. In this instance it is considered that the proposals do not raise any specific implications in these respects and therefore it is not considered that a full Equality, Diversity, Cohesion and Integration Impact Assessment (EDCI) is required.

MAIN ISSUES:

30. The following main issues have been identified:
1. Character and design
 2. Impact on residential amenity
 3. Highways and parking

APPRAISAL:

1. Character and design

31. Policy P10 of the Core Strategy states that proposals will be supported where the size, scale, design and layout of the development is appropriate to its context and respects the character and quality of surrounding buildings; the streets and spaces that make up the public realm and the wider locality. Core Strategy policy P12 seeks to conserve and enhance the character and quality of Leeds' townscapes and landscapes. Policy BD6 of the Unitary Development Plan sets out that extensions should respect the scale, form, detailing and materials of the original building.
32. Policy HDG1 of the Householder Design Guide SPD states that all alterations and extensions should respect the scale, form, proportions, character and appearance of the main dwelling and the locality. Particular attention should be paid to (i) the roof form and roof line, (ii) window details, (iii) architectural features, (iv) boundary treatments, and (v) materials.
33. The scale of the proposed extension would represent a significant addition to the host dwelling. However, the extension is considered to be of an acceptable scale in relation to the size and proportions of the host dwelling, with the majority of the bulk being situated to the rear of the dwelling, resulting in a lesser impact on the street scene. Within this context the scale and form of the extension is considered to represent a sympathetic rear and side addition.
34. The side element of the extension would be set back a considerable distance from the principal elevation, set away from the side boundary and the roof ridge would also be

slightly set down from the main ridge line. The width of the side projection would also be modest and would fall within the policy guidance contained within the Householder Design Guide, which states that side extensions should not be more than two thirds width of the original building.

35. The external materials proposed would match those present on the existing dwelling as well as those widely used within the immediate locality. It is proposed that the use of these materials, to match the existing, would be secured by way of a planning condition.
36. Overall, the design features outlined above would allow the extension to appear as a subservient and sympathetic addition to the host dwelling and thus the extension is not considered to result in any harm to the character and appearance of the locality.
37. As such, the proposal is acceptable in terms of character and design. The proposal will meet the wider aims of Core Strategy policies P10 and P12, saved UDP policies GP5 and BD6, policy HDG1 of the Householder Design Guide SPD, and the guidance contained within the NPPF in these respects.

2. Impact on residential amenity

38. Policy GP5 of the Unitary Development Plan notes that extensions should protect amenity and this advice is further expanded in policy HDG2 of the Householder Design Guide, which states that *“all development proposal should protect the amenity of neighbours. Proposals which harm the existing residential amenity of neighbours through excessive overshadowing, overdominance or overlooking will be strongly resisted.”*
39. The rear element of the extension would have a projection of 3.2 metres from the existing elevation at both ground and first floor levels. The first-floor element would be stepped away from the adjoined neighbouring boundary (at No. 34) by 3 metres. It is also acknowledged that the adjoined neighbouring property at No. 34 does benefit from planning permission for a similar type of extension, with a similar projection to the rear. However, even if this were not the case, the scale of the proposed extension to the rear is not considered to result in harm to No. 34 with regards to overshadowing or overdominance whether in relation to neighbouring windows or garden areas.
40. With regards to the side element of the extension, this would be full two storey along the entire length of the extension. A gap would be retained from the neighbouring boundary of No. 38 of between 0.9 and 1.6 metres. Given the angled nature of the road, the dwellings are also orientated at slight angles away from each other, which would further mitigate any impacts related to bulk and massing. The neighbouring side gable wall does have several windows within the elevation. The plans from a 2003 planning permission at the neighbouring site (30/164/03/FU) show these windows to serve a dining room and kitchen area and a small store at ground floor level and a bedroom, bathroom and staircase at first floor level. There will inevitably be some impact over these rooms in terms of overdominance/ a loss of outlook and overshadowing/ a loss of light but it is considered that the extension is positioned a sufficient distance away from these windows to prevent unreasonable impacts in these respects.
41. With regards to overlooking/loss of privacy, there would be no additional windows on the north west facing side elevation at first floor level and this is to be secured by way of planning condition to ensure it is retained without additional windows in the future. However there would be a new window at ground floor level and a new roof light

window within the roof slope. The new ground floor window would serve a bathroom but any overlooking impact would be mitigated by the existing boundary fence and the new rooflight window would be positioned at a high level above the internal floor level and would not result in any harm. There would be no new windows on the south eastern facing side elevation.

42. There would also be a new window and opening at ground and first floor level on the rear elevation. These would be located deeper into the rear garden due to the projection of the extension. The existing relationship between neighbouring gardens consists of a side by side, parallel layout where there is some existing overlooking. The new window and opening would not be considered to result in a detrimental increase in the level of overlooking and are considered to be acceptable.
43. With regards to levels of amenity space for the host dwelling, there would be some loss of garden due to the additional footprint of the extension. However, due to the size of the garden, it is considered that a sufficient level of private amenity space would be retained.
44. As such, the proposal is acceptable in terms of amenity impacts. The proposal will meet the wider aims of Core Strategy policy P10, saved UDP policy GP5, policy HDG2 of the Householder Design Guide SPD.

3. Highways and parking

45. Core Strategy policy T2 and the policies and guidance contained within the Householder Design Guide and Transport SPD's aim to ensure two car parking spaces are retained at residential properties, where they exist at present, in order to prevent a significant increase in on-street car parking on residential streets which can lead to wider parking congestion, amenity issues, and highway safety concerns.
46. The proposal would not result in the loss of any existing hardstanding area currently used for off road parking, and therefore would not result in any loss of parking provision. There would also be no alterations made to the access arrangements to the site.
47. As such, the proposal is acceptable in terms of highways and parking. The proposal will meet the wider aims of Core Strategy policies P10 and T2, saved UDP policy GP5, and the guidance contained within the Householder Design Guide SPD, the Transport SPD, and the NPPF in these respects.

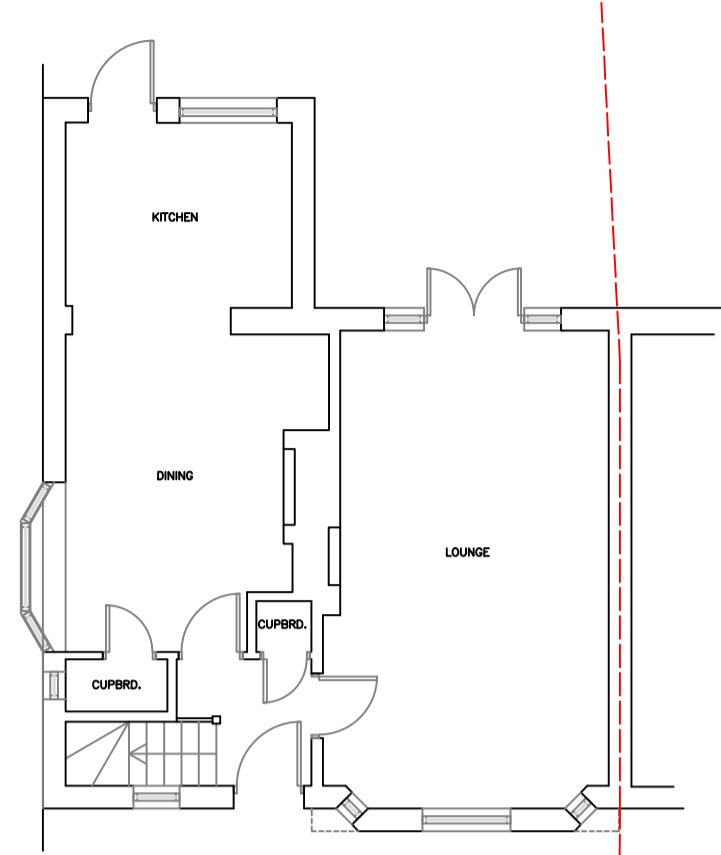
CONCLUSION:

48. It is considered that the development is acceptable in design, amenity and highway terms. The proposal will also have wider benefits for the applicant in providing new living accommodation. The proposal is considered to be in-keeping with the relevant policies from the Development Plan and there are no material planning considerations which would weigh against the proposal.
49. In conclusion, taking into account the above and considering all other material planning considerations, it is recommended that planning permission be granted for the proposed development subject to the conditions as set out at the beginning of this report.

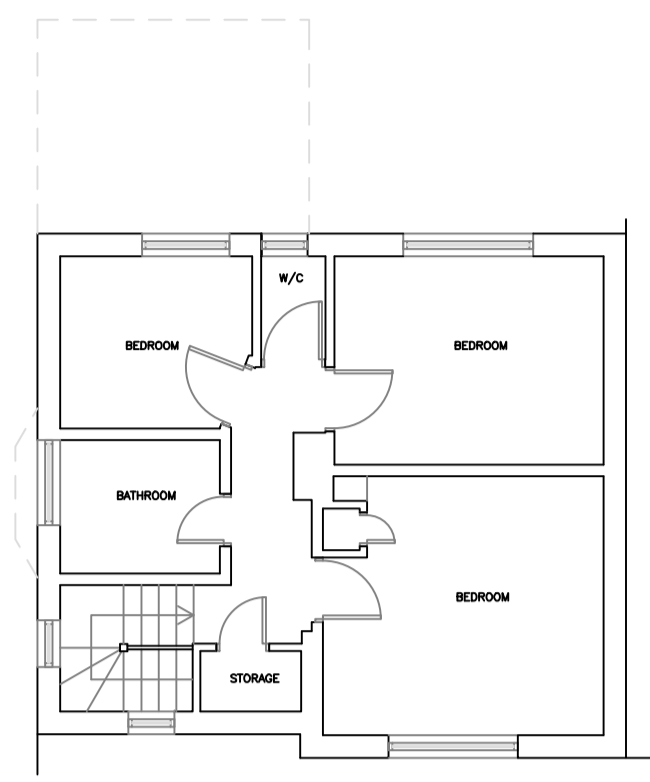
Application file reference: 23/05807/FU
Certificate of ownership: Signed by Agent David Cook

NOTES:
 Sketch schemes may be based on plan information of unknown origin and are subject to Topographical survey, Geotechnical survey, Arboicultural and Ecological survey, Planning, Building Regulations, Highways and other Statutory Authorities.

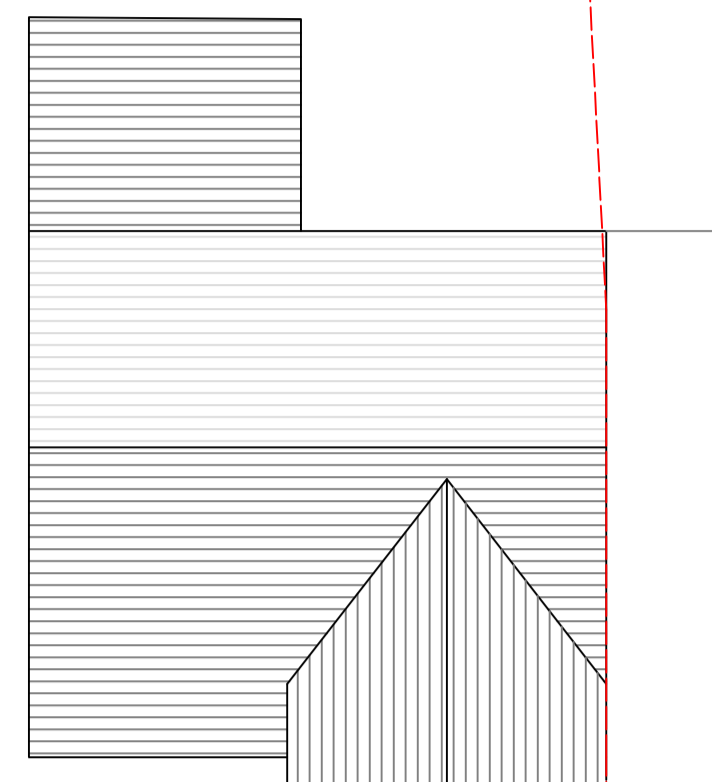
Structural Elements, including, but not limited to, steel beams, columns, steel and concrete lintels, foundations etc are strictly to structural engineers design and calculation.



EXISTING GROUND FLOOR PLAN



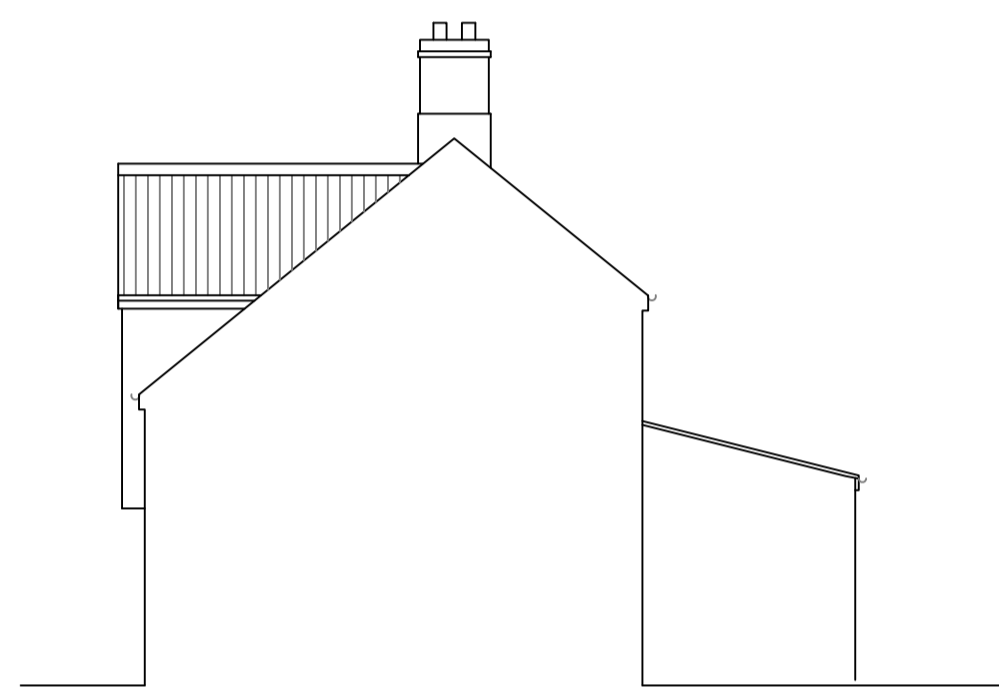
EXISTING FIRST FLOOR PLAN



EXISTING ROOF PLAN



EXISTING NORTH ELEVATION



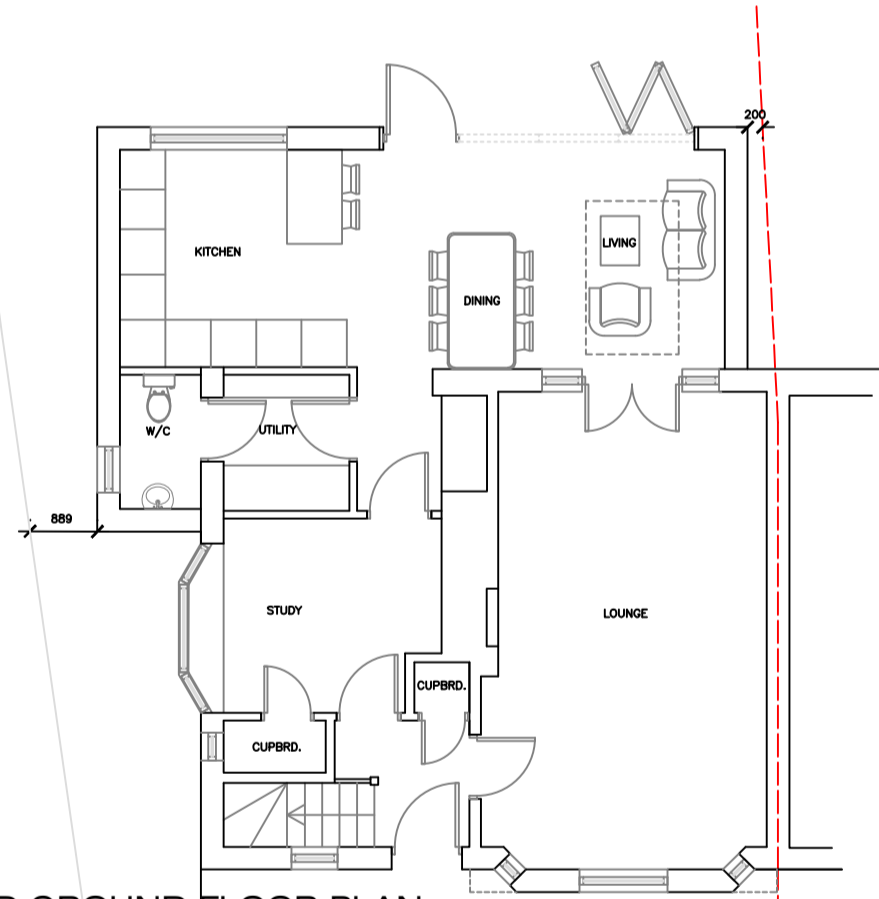
EXISTING EAST ELEVATION



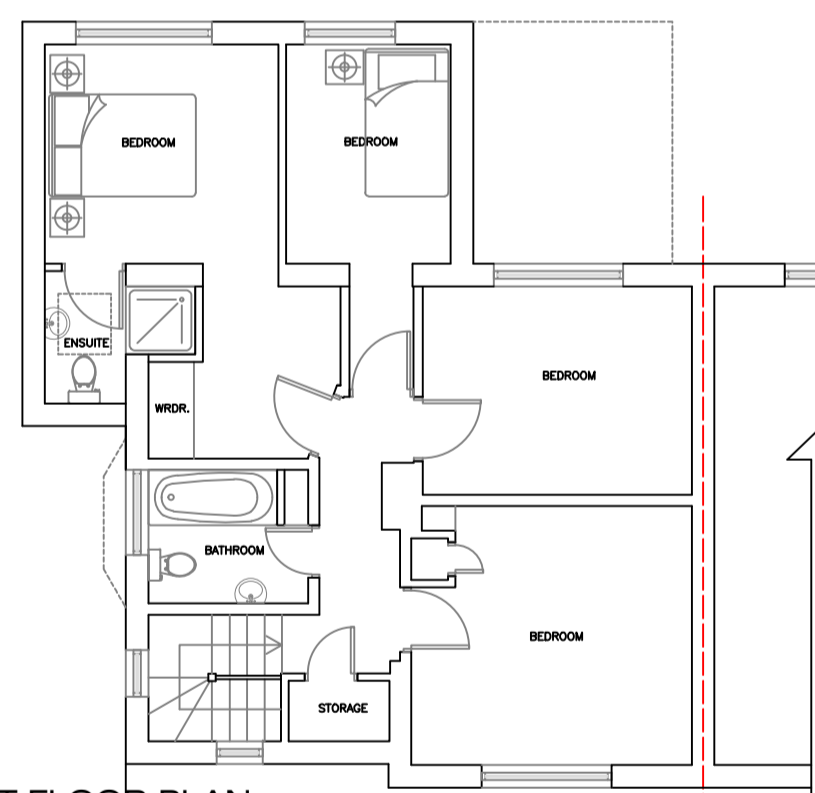
EXISTING SOUTH ELEVATION



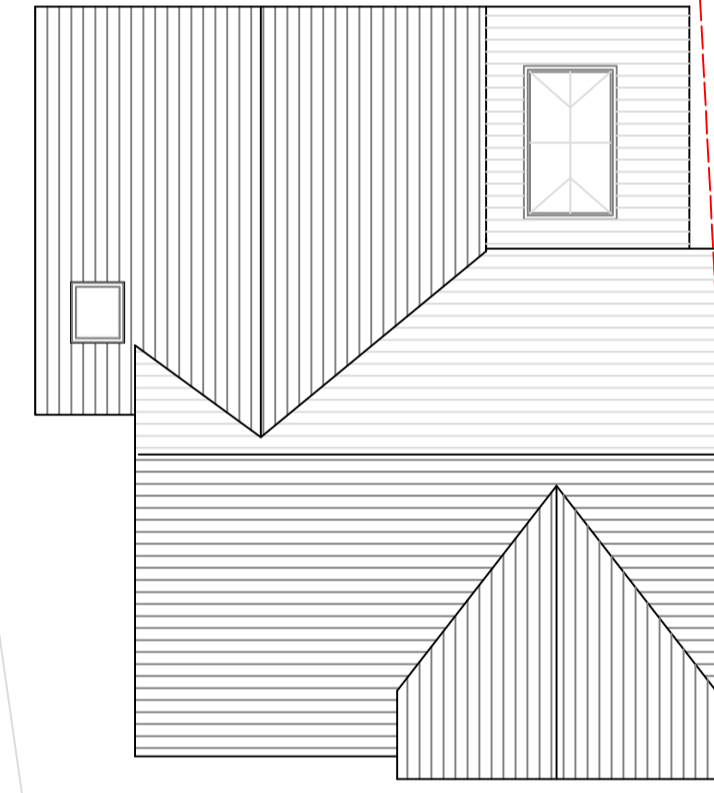
EXISTING WEST ELEVATION



PROPOSED GROUND FLOOR PLAN



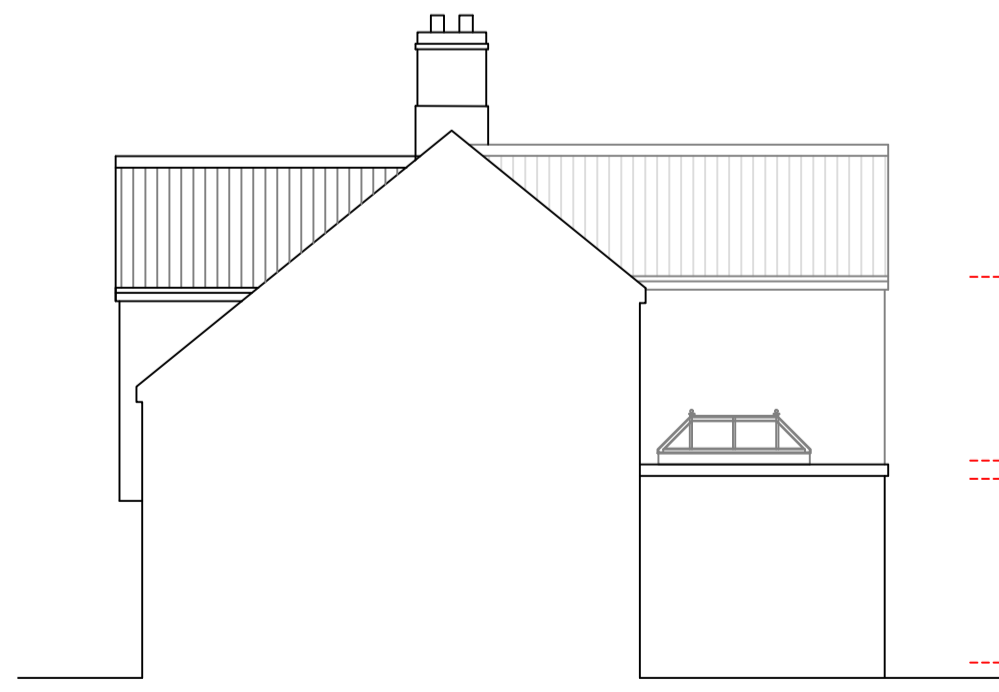
PROPOSED FIRST FLOOR PLAN



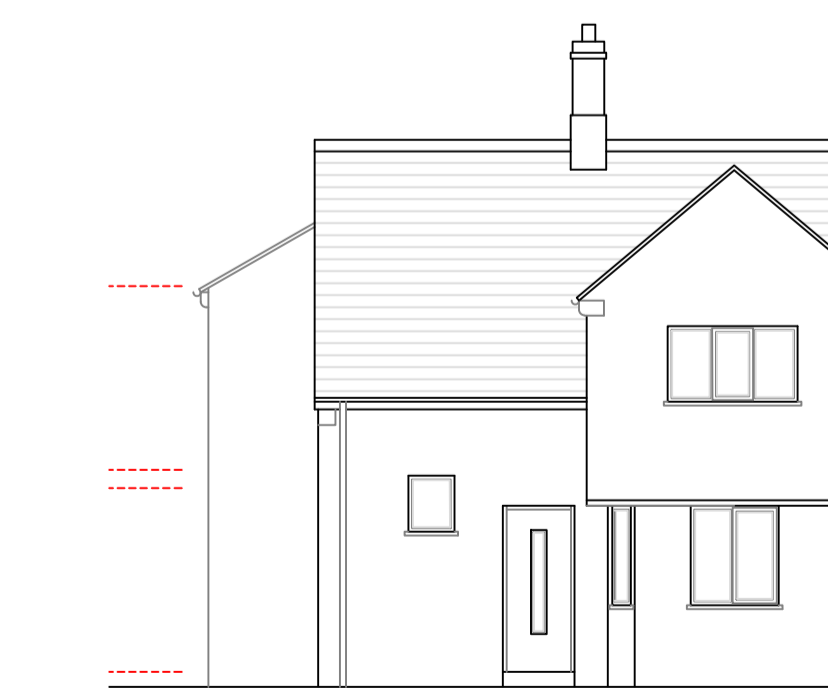
PROPOSED ROOF PLAN



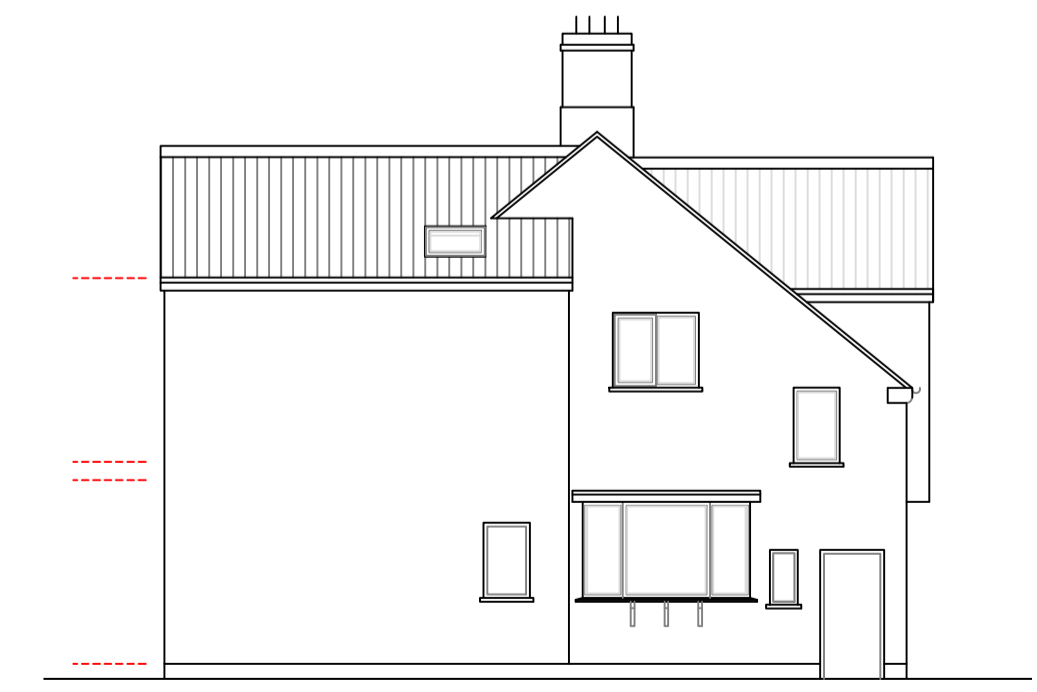
PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION

Rev	Date	Description	Initial
D	27.09.23	Existing East elevation added.	CDC
C	13.09.23	Amendments per clients' request.	CDC
B	06.09.23	Amendments per clients' request.	CDC
A	01.09.23	Amendments to floor plans.	CDC

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Status: Planning

Project: 35 Pardand Crescent, Moortown, Leeds
 LS6 4PR

Title: Existing & Proposed Plans and Elevations

Scale: 1:100 @ A1
 Drawn by: CDC

Client: J. Ashton
 Checked by: DMC

Job No: 2995
 Drawing No: 004

Revision: D
 Date: 07.2023

DO NOT SCALE FROM THIS DRAWING.
 THIS DRAWING MUST NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN AUTHORITY.





ic High School

23/05807/FU

NORTH AND EAST PLANS PANEL





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PLANS PANEL PRESENTATION

SCALE 1:2500

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